

BHARAT SANCHAR NIGAM LIMITED
(A Govt. of India Enterprise)



Expression of Interest for leasing out of built up space in BSNL Buildings in
Chennai, Kanchipuram, Tiruvallur and Chengalpattu districts

Issued to: _____

Signature of Officer issuing the documents: _____

Designation: _____

Date of issue: _____

This document consists of **108 (One Hundred Eight)** pages

O/o Executive Engineer - Civil
BSNL, CD-MMN
KK Nagar TE, 99, Jawaharlal Nehru Road, Chennai - 78

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SECTION-I
BHARAT SANCHAR NIGAM LIMITED
(A Government of India Enterprise)

EOI No: 02 /BSNL/CD-MMN/CH/2024-25

dated: 05 -03 -2025

NOTICE INVITING EXPRESSION OF INTEREST

1. Sealed Expression of Interest (hereinafter called EOI) for leasing out of built up space on rent in the **BSNL Buildings in Chennai, Kanchipuram, Tiruvallur and Chengalpattu districts** is hereby invited in two bid system in the prescribed Performa by the O/o Executive Engineer, Civil Division-MMN, BSNL, CHTD upto 15:00 hrs on the date mentioned below.
2. The following organizations are eligible to submit their bids:
 - a) Public Organizations, which, for the purpose of renting, Shall mean –
 - (i) Central/ State Government offices
 - (ii) Central/ State PSUs and their subsidiaries/ joint ventures.
 - (iii) Autonomous bodies/ Boards/ Councils/ Commissions/ Statutory bodies/ Regulatory bodies etc. running with the budgetary support of Government or controlled by the Government or set-up by a Government Act/Executive order.
 - (iv) Constitutional bodies, Judicial & Quasi-Judicial bodies and Organizations set up by an Act of Parliament.
 - b) Scheduled Banks, both Governments owned as well as Private, except the Co-operative Banks.
 - c) International bodies, and
 - d) Reputed Private Organisations with annual turnover of not less than Rs. 25 Crores in Chennai and Rs. 5 Crores in other cities and towns.

Note:-The vacant space shall not be rented out to other Telecom Service Providers for their Telecom operations.

Maximum lease period:

The spare-able built-up space shall be rented out for a maximum period as detailed below:

- (a) Public organizations as defined under para 2(a), Government owned scheduled banks and International bodies. – 10 years
 - (b) Scheduled Private Bank (except co-operative banks) and Listed Companies having turnover of more than Rs.100 Cr. – 5 years
 - (c) Reputed Private organizations as per Section para 2(d). – 3 years
3. Bid form consisting of eligibility criteria, terms and conditions, and the Performa of the EOI can be had from the aforesaid office from 11:00 hrs to 16:00 hrs on all the working days, upto penultimate day of the last date of submission of the EOI.
 4. The bid form can also be downloaded from the website
www.chennai.bsnl.co.in and <https://etenders.gov.in/eprocure/app>

5. Details for obtaining bid forms, receipt and opening there of shall be as follows:-

Sl. No	Stage	Date and Time
a	Last date for receipt of application for issue of bidform	26-03-2025
b	Last date for issue of bid form	27-03-2025
c	Date of pre-bid conference, if any	-
d	Last date and time for receipt of sealed bids	Upto 15:00 hrs on 29-03-2025
e	Time and date for opening of technical & financial Bid	Technical bid At 15:30 hrs on 29 -03-2025 Financial bid opening will be intimated later

6. The Eligibility Bid will be opened in the presence of the representatives of the bidders at 15:30 hrs. on the last date of receipt of the bids.
7. Financial bid shall be opened only of those bidders who qualify in Eligibility-cum-Technical bid in the presence of the representatives of the bidders.
8. In case of the attested copies of the documents / testimonials / certificates original copies thereof should be produced on demand at the time of opening of the Bid.
9. The bid in which any of the prescribed conditions are not fulfilled is liable to be summarily rejected.
10. Canvassing in any form whether directly or indirectly, in connection with the bids is strictly prohibited and the bid submitted by the Consultant who resorts to canvassing shall be liable to rejection.
11. BSNL does not bind itself to accept the highest or any other bid, and reserves itself the right or reject any or all the bids without assigning any reasons.
12. No conditional bid including conditional rebate shall be accepted. Conditional bid will be liable to be summarily rejected.
13. The bid forms shall not be issued by post/courier. Further, Bids shall not be received by post/ courier/ fax.

Executive Engineer-Civil,
BSNL, CD-MMN,
CHTD

SECTION-II
GUIDE LINES TO BIDDERS

1. DEFINITIONS

- a) The **Contract** means the documents forming the EOI document and acceptance thereof and the formal agreement executed between the competent authority on behalf of BSNL and the bidder, together with the documents referred to there in including these conditions and instructions issued from time to time by the Engineer-in-charge and all these documents taken together, shall be deemed to form one contract and shall be complementary to one another.
- b) The **Site or Area** shall mean the vacant space or any area which is to be given on rent.
- c) The **BIDDER** shall mean eligible organization bidding for the space to be taken on rent under the contract and shall include the legal personal representative or such individual or the persons representing such eligible organizations.
- d) The **BSNL** shall mean Bharat Sanchar Nigam Limited (A Government of India Enterprise) having its registered office at Bharat Sanchar Bhawan, Harish Chandra Mathur lane, Janpath, New Delhi-110001 and shall include their legal representatives, employees and permitted assigns.
- e) The **Engineer-in-Charge** or **E-in-C** means the Officer who shall be in-charge of the building and who shall sign the agreement on behalf of the Bharat Sanchar Nigam Ltd.
- f) **Department** means Bharat Sanchar Nigam Limited and shall include their legal representatives, employees and permitted assigns, who invite EOI on behalf of BSNL.
- g) The **Arbitrator** means the authority nominated by Chief General Manager (CGM) for arbitration.
- h) Where the contexts requires, words imparting the singular only also include the plural and vice versa. Any reference to masculine gender shall whenever required include feminine gender and vice versa.

2. SCOPE OF TENDER

- a) BSNL intends to lease out the built-up space in the building on rent basis to the organizations as mentioned in para - 2 of Section-I. Tentative requisite details of the vacant space are available at SECTION VII. The likely usage for which the said built up space may be put to use is for office purpose, IT & ITES related work, training institutes etc. However, the Bidder is required to actually visit the site and its locality to gather all the requisite information for quoting his rates.
- b) Preferably, the initial leasing period will be three years with provision for extension upto 9 years with escalation in rent after every three years provided that such escalation shall be with 15% increase in rent (i.e. @ 5% per annum) of the last rent paid at the time of such revision.
- c) The Bidder shall sign lease agreement for the built up space within 1 month of the acceptance of his bid.

3. DECLARATIONS

The company or firm or any other person shall not be permitted to bid in BSNL Chennai Telephones in which his near relative (s) (directly recruited or on deputation in BSNL) is/are posted in any capacity either non-executive or executive employee. Near relative (s) for this purpose is/are defined as:

- (i) Member of Hindu Undivided family (UHF).
- (ii) They are Husband and Wife.
- iii) The one is related to other in the manner as father, mother, son(s) & Son's wife (daughter-in-law), Daughter(s), Daughter's husband (son-in-law), brother(s), brother's wife, sister(s), sister's husband (brother-in-law).

All the bidders will have to give a certificate that none of his/her such near relative (s) as defined above is/are working in BSNL Chennai Telephones. The format of the certificate is given in Section – IV Declaration and should be signed by the bidder.

The bidder shall be required to furnish the declaration as per Section IV along with the bid.

4. BID/EOI DOCUMENTS

The appraisal requirements, bidding procedures and contract terms and conditions are prescribed in the EOI Documents. The Bid/EOI documents include the following:

(a) Notice Inviting EOI	Section I
(b) Guidelines to Bidders	Section II
(c) Commercial Conditions of Contract	Section III
(d) Declaration	Section IV
(e) Bid Forwarding letter	Section V
(f) Letter of authorization to attend bid opening	Section VI
(g) Details of Locations	Section VII
(h) Proforma for Declaration for downloaded EOI document	Section VIII
(i) Standard Lease Agreement	Section IX
(j) Price Schedule (Financial Bid)	Section X

The Bidder is expected to examine all instructions, forms, terms and conditions in the EOI Documents. Failure to furnish any information required as per the EOI Documents or in complete submission of the bids document in any respect shall be at the bidder's risk and may result in rejection of the bid.

5. MISCELLANEOUS

- a. The Bidder must use only the prescribed Proforma for the bid document issued by BSNL or downloaded from the website www.chennai.bsnl.co.in and <https://etenders.gov.in/eprocure/app> in the same form in A4 size paper.
- b. Submission of the bid by a bidder would imply that the bidder has carefully read and agreed to the terms and conditions contained in the bid document.
- c. No conditional bid including conditional rebate/ enhancement shall be accepted. Conditional bid will be liable to be summarily rejected.
- d. The bid shall remain open for acceptance for a period of 120 (One hundred and twenty) days from the date of submission of the bids, which may be extended, if required, by mutual agreement and the bidder shall not cancel, alter terms and conditions or withdraw the offer during this period.
- e. This bid document shall form a part of the contract agreement.
- f. Canvassing in any form whether directly or indirectly, in connection with the bid is strictly prohibited. Bid submitted by the Bidder, who is found to be canvassing, will be liable to rejection.
- g. BSNL does not bind itself to accept the highest bid. Further, BSNL also reserve to itself the right to reject any or all the bids without assigning any reason.
- h. If the date fixed for opening of bids is subsequently declared as holiday by the BSNL, the revised date will be notified. However, in absence of such notification, the bids will be opened on next working day, time and venue remaining unaltered.

- i. Any clarification issued by Bharat Sanchar Nigam Ltd. in response to queries raised by prospective bidders shall form an integral part of Bid Documents and it may amount to amendment of relevant clauses of the Bid Documents.
- j. Bidder may apply for any location(s) in the circle (out of the locations mentioned in Section VII) in the prescribed format / procedure.
- k. References, information and certificates from the respective bidder submitted in compliance of terms and conditions of the bid document should be duly signed by the authorized signatory. In case of the documents from a Government organizations/PSUs, it should be signed by the person not below the rank of Executive Engineer/ Under Secretary or equivalent.

6. METHOD OF APPLICATION

- a) The bid should be signed by the authorized officer not below the rank of the officer in Under Secretary/ STS grade or equivalent in case of Government organizations/ PSUs and by duly authorized signatory in case of others.
- b) Overwriting should be avoided. Correction, if any, should be made up by neatly crossing out, initialing, dating and rewriting. Correction fluid/ tape should not be used.
- c) The Bidder or his authorized representative shall sign and put his seal on each page of the EOI document before submission in token of acceptance of the terms and conditions of the bid.

7. SUBMISSION & OPENING OF BIDS AND VALIDITY THEREOF:

- a) The Bid shall be in two bid system.

- b) The Bid to be submitted should be in the sealed envelopes in the following manners:-

The third envelope (sealed) super scribed thereon “[Expression of Interest for leasing out of built up space in BSNL Buildings in Chennai, Kanchipuram, Tiruvallur and Chengalpattu districts](#)” should contain the following two envelopes.

- i. The first envelope (sealed) super scribed thereon “Eligibility details” should contain, the DECLARATION” as prescribed in the terms & conditions of the bid document, details in the prescribed proforma & attested copies of the documents/ testimonials/ certificates meeting the eligibility conditions.
- ii. The second envelope (sealed) super scribed thereon “Financial Bid” should contain financial bid in the prescribed Proforma (SECTION X).
- iii. Any deviation from the above manner shall render the bid liable for the rejection.
- c) The bidders should submit their bid on the prescribed time and date at the address mentioned below.

“O/o Executive Engineer-Civil, BSNL Civil Division - MMN, KK Nagar Telephone Exchange, 99, Jawaharlal Nehru Road, KK Nagar, Chennai-600078”.

- d) Any bid received after the prescribed deadline of date and time shall not be opened and summarily rejected.
- e) The Eligibility-cum-Technical Bid will be opened in the presence of the representatives of the bidders at 15:30 hrs on the last date of receipt of the bids.
- f) Financial bid shall be opened only of those bidders who qualify in Eligibility-cum-Technical bid in the presence of the representatives of the bidders on the same day.
- g) The bidder’s representatives who are present at the time of opening of bid shall sign an attendance register. Authority letter to this effect shall be submitted by the bidder before they are allowed to participate in bid opening. **(A FORMAT IS GIVEN IN SECTION VI).**
- h) A maximum of two representatives for any bidder shall be authorized and permitted to attend the bid opening.
- i) The bidder’s names, modifications, bid withdrawals and such other details as the BSNL may at

its discretion, consider appropriate will be announced at the time of opening.

- j) Bid shall remain valid for acceptance for a period of 120 days after the date of opening. The bid in which the bidder has restricted its validity for the period shorter than the aforesaid shall be rejected by BSNL as non-responsive. In certain circumstances, BSNL may request in writing to the bidders for extending validity of their bid.
- k) The un-opened bids shall be returned to the bidder after final decision is taken on the bids.

8. CHECK LIST OF THE DOCUMENTS TO BE SUBMITTED IN BID:

a) Eligibility cum Technical Bid:

- i. Declaration in the prescribed Proforma as in Section IV.
- ii. The prescribed bid document with each page duly signed by the authorized signatory with seal in token of acceptance of its terms and conditions in accordance with clause 7.
- iii. Proof of eligibility i.e.
 - A. For Public Organizations—A statement on the letter head of the department/ company giving details about their organization.
 - B. For international bodies—A statement on the letter head of the company giving details about their affiliation with UN or any other international organization.
 - C. For reputed private organizations—Certificate of incorporation, Income tax returns along with balance sheets duly authenticated by the CA for the last three years.
- iv. Certificate in case of downloaded bids as per SECTION VIII.

b) Financial Bid:-

- (I) The Bidder shall give the unit price per square feet of Plinth area/ Carpet area or per unit basis (as asked for in Financial Bid) per month for the location applied for, listed in the Price schedule and the unit prices indicated shall be exclusive of taxes and operational & maintenance (O&M) charges in the proforma given in SECTION X.

9. SECURITY DEPOSIT

- i. The Successful Bidder shall furnish the BSNL a sum of Rs. _____ (Rupees _____) as advance rent of one month and Interest free Security Deposit of an amount equal to three (3) months rent to the BSNL in the form of Demand Draft drawn on Scheduled Bank in favour of Accounts Officer, O/o C.G.M, BSNL, Chennai Telephones within 7 days after the receipt of the LOI along with Draft lease agreement. The Security Deposit shall be accompanied by two copies of the Agreement. This shall be followed by signing of the Agreement with BSNL, within seven days of the receipt of Security Deposit.
- ii. The proceeds of the Security Deposit shall be payable to the BSNL as compensation for any loss resulting from the Bidder's failure to discharge its obligations under the lease agreement.
- iii. The Security Deposit will be discharged by the BSNL after successful completion of the lease period.

10. EVALUATION OF BIDS:

The evaluation and comparison of bids shall be based on the rentals offered in the Price Schedules in Section X.

11. BSNL'S RIGHT TO ACCEPT/REJECT ANY OR ALL BIDS

- a. BSNL reserves the right to accept or reject any bid, and to annul the bidding process and reject all bids, at any time prior to award of lease without assigning any reason whatsoever and without thereby incurring any liability to the affected bidder or bidders on the grounds of BSNL's action.
- b. BSNL reserves the right to lease out the premises of same location to different bidders.

12. ISSUE OF LETTER OF INTENT (LOI)

- i. The issue of an LOI shall constitute the intention of the BSNL to enter into an agreement with the bidder for leasing the premises.
- ii. Within 7 days of issue of the LOI, the bidder shall give its acceptance along with Security Deposit in conformity with terms of bid document.

14. SIGNING OF CONTRACT

- i. The issue of LOI followed by acceptance by the bidder(s) shall constitute the award of lease to the bidder(s). Detailed lease agreement as per Section IX shall be signed within seven days from the date of receipt of Security Deposit.

- 15. ANNULMENT OF AWARD** Failure of the successful bidder to comply with the requirement of clause 9 (i) shall constitute sufficient ground for the annulment of the award in which event the BSNL shall call for fresh bids.

List of services

(Operation & Maintenance to be carried out by BSNL for which rate to be quoted by bidders):

Table No:- 1-

Sl No	Name of building	Electrical fixtures, Fittings, installations, Compound lights and pumps	Lifts	Substation	Fire fighting systems	Deployment of Security for entire campus and common area	Housekeeping for entire campus in common area
1	PGM (S) Building, Guindy	Yes	Yes	Yes	Yes	Yes	Yes
2	Telephone Exchange, Saint Thomas Mount	Yes	No	Yes	Yes	Yes	Yes
3	Telephone Exchange, Raj Bhavan, Guindy	Yes	No	Yes	Yes	Yes	Yes
4	Telephone Exchange, Chrompet	Yes	No	Yes	Yes	Yes	Yes
5	Guntur Telephone Exchange, Chengalpattu	Yes	No	Yes	Yes	Yes	Yes
6	Old Telephone Exchange, Chengalpattu	Yes	No	Yes	Yes	Yes	Yes
7	Telephone Exchange, Madhuranthagam	Yes	No	Yes	Yes	Yes	Yes
8	Telephone Exchange, Kodambakkam	Yes	Yes	Yes	Yes	Yes	Yes
9	Collectorate RSU, Kanchipuram	Yes	No	Yes	Yes	Yes	Yes
10	New Telephone Exchange, Kanchipuram	Yes	No	Yes	Yes	Yes	Yes
11	Old Telephone Exchange, Kanchipuram	Yes	No	Yes	Yes	Yes	Yes
12	Telephone Exchange, Sriperumpudur	Yes	No	Yes	Yes	Yes	Yes
13	Microwave Building, Telephone Exchange, Tiruvallur	Yes	No	Yes	Yes	Yes	Yes
14	Telephone Exchange, Tiruttani	Yes	No	Yes	Yes	Yes	Yes
15	Telephone Exchange, Adayar	Yes	Yes	Yes	Yes	Yes	Yes
16	Telephone Exchange, Mylapore	Yes	No	Yes	Yes	Yes	Yes
17	Telephone Exchange, RK Nagar	Yes	Yes	Yes	Yes	Yes	Yes
18	Mambalam Telephone Exchange, Nandanam	Yes	No	Yes	Yes	Yes	Yes
19	Annaroad Telephone Exchange, Dams road	Yes	Yes	Yes	Yes	Yes	Yes

20	Telephone Exchange, Haddows road	Yes	Yes	Yes	Yes	Yes	Yes
21	Telephone Exchange, Flower Bazaar	Yes	Yes	Yes	Yes	Yes	Yes
22	Telephone Exchange, Harbour	Yes	Yes	Yes	Yes	Yes	Yes
23	Telephone Exchange, Kalmandapam	Yes	No	Yes	Yes	Yes	Yes
24	Telephone Exchange, Ennore	Yes	No	Yes	Yes	Yes	Yes
25	Telephone Exchange, Manali	Yes	No	Yes	Yes	Yes	Yes
26	Telephone Exchange, Red Hills	Yes	No	Yes	Yes	Yes	Yes
27	Telephone Exchange, Gummidipoondi	Yes	No	Yes	Yes	Yes	Yes
28	Telephone Exchange, Suravarikandigai	Yes	No	Yes	Yes	Yes	Yes
29	Telephone Exchange, Kellys	Yes	No	Yes	Yes	Yes	Yes
30	Telephone Exchange, Anna nagar	Yes	No	Yes	Yes	Yes	Yes
31	Telephone Exchange, Ambattur	Yes	No	Yes	Yes	Yes	Yes
32	Telephone Exchange, Perambur	Yes	No	Yes	Yes	Yes	Yes

1. Bidders are requested to go through the above table before quoting the rate including the maintenance charges in the financial Bid.
2. Car Parking and Two wheeler parking shall be made available in proportionate to the carpet area being taken on rent Vis a Vis total Carpet area of the building subject to the availability.
3. In case of any bidder wants to take more parking area in addition to the above mentioned criteria, he will have to pay extra charges for the parking of each four wheeler at the rate of Rs. 3,500/- per Month.

SECTION III
COMMERCIAL CONDITIONS OF CONTRACT

1. TERMS & CONDITIONS

The general terms and conditions of lease are given in Standard Lease Agreement provided in Section IX.

2. LIQUIDATED DAMAGES

Should the Bidder fail to perform contractual obligations including payment of monthly lease rent within the period prescribed, the BSNL shall be entitled to recover amount with interest at the rate of bank rate (presently 4.25%) plus 4% for the period of delay. Quantum of liquidated damages assessed and levied by the BSNL shall be final and not challengeable by the bidder.

3. FORCE MAJEURE

- i. If, at any time, during the continuance of this contract, the performance in whole or in part by either party of any obligation under this contract is prevented or delayed by reasons of any war, or hostility, acts of the public enemy, civil commotion, sabotage, fires, floods, explosions, epidemics, quarantine restrictions, strikes, lockouts, or act of God (hereinafter referred to as events) provided notice of happenings of any such eventuality is given by either party to the other within 3 days from the date of occurrence thereof, neither party shall by reason of such event be entitled to terminate this contract nor shall either party have any claim for damages against other in respect of such non-performance or delay in performance, and deliveries under the contract shall be resumed as soon as practicable after such an event comes to an end or ceases to exist, and the decision of the BSNL as to whether the services have been so resumed or not shall be final and conclusive. Further that if the performance in whole or part of any obligation under this contract is prevented or delayed by reasons of any such event for a period exceeding 10 days, either party may, at its option, terminate the contract.
- ii. Provided, also that if the contract is terminated under this clause, the BSNL shall be at liberty to transfer the work and the funds from the bidder to any other Bank to be appointed by the BSNL, without any financial implications being imposed by the original bidder on BSNL arising out of such transfer.

4. TERMINATION FOR DEFAULT

The BSNL may, without prejudice to any other remedy for breach of contract, by written notice of default, sent to the bidder, terminate this contract in whole or in part,

- a) If the bidder fails to meet its contractual obligations within the time period(s) specified in the lease agreement, or any extension thereof granted by the BSNL pursuant to clause 12, Section II; and
- b) If the bidder, in either of the above circumstances, does not remedy its failure within a period of 10 days (or such longer period as the BSNL may authorize in writing) after receipt of the default notice from the BSNL.
- c) In the event the BSNL terminates the contract in whole or in part, the BSNL may proceed, upon such terms and in such manner as it deems appropriate.

5. TERMINATION FOR INSOLVENCY

The BSNL may at anytime terminate the Contract by giving written notice to the Bidder, without compensation to the bidder, if the bidder becomes bankrupt or otherwise insolvent as declared by the competent court provided that such termination will not prejudice or affect any right to action or remedy which has accrued or will accrue thereafter to the BSNL.

6. ARBITRATION

Except as otherwise provided elsewhere in this EOI, in the event of any disputes, controversy or differences arising out of or relating to this agreement or the breach, termination or invalidity thereof between the parties, such party or parties shall make a request to the other party or parties to

amicably settle such differences or disputes and parties shall thereupon make every effort to settle the same amicably within a period of 60(sixty) days from the date of making of such request.

Where parties are unable to settle the disputes through conciliation, the same shall be referred to the CGM, BSNL-CHTD, CHENNAI for referral of such disputes to a sole arbitrator (chosen from the name(s) provided by BSNL), to be mutually decided by the parties, as per the provisions of the Arbitration and Conciliation Act 1996, any amendment thereof and any notification issued or rules made there under from time to time.

The venue of the arbitration proceeding shall be “ CHENNAI”

The fees, if any, of the arbitrator shall, if required to be paid be for the award is made and published, be paid half and half by each of the parties. The cost of the reference and of the award (including fees, if any, of the arbitrator) shall be in the discretion of the arbitrator who may direct to any, by whom and in what manner, such cost or any part thereof, shall be paid and fix or settle the amount of costs to be so paid.

In the event of any dispute or difference relating to the interpretation and application of the provisions of this EOI where bidder is a Central Public Sector Enterprise (CPSE)/ Port Trust or Government Department/ Organization (excluding disputes concerning Railways, Income Tax, Customs & Excise Departments), such dispute or difference shall be taken up by either party for resolution through Administrative Mechanism for Resolution of CPSEs Disputes (AMRCD) as mentioned in DPE OM No. 4(1)/2013-DPE(GM)/FTS-1835 dated 22-05-2018.

SECTION IV
DECLARATION

To,
The Chief General Manager,
BSNL–CHTD, Chennai-600010

Sub: Expression of Interest for leasing out of built up space in BSNL Buildings in Chennai, Kanchipuram, Tiruvallur and Chengalpattu districts

Dear Sir,

I/We have read and examined the EOI document, terms and Conditions thereof and other documents and Rules referred to in the EOI document and all other contents in the EOI document for leasing out the built up space.

I/We hereby submit our bid for as per the stated scope of work within the specified time schedule.

I/We hereby submit all the documents mentioned in the EOI document.

I/we _____ S/o Sri _____ Resident of _____ hereby certify that none of my relative (s) as defined in Para 3 of Section - II is/are employed in Chennai Telephones. In case at any stage, it is found that the information given by me is false/incorrect, BSNL shall have the absolute right to take any action as deemed fit without any prior intimation to me.

I/We agree to keep the offer open for One Twenty (120) days from the last due date of submission thereof and not to make any modifications in its terms and conditions. If, I/We withdraw my/our offer before the said period or before issue of letter of acceptance, whichever is earlier, or makes any modifications in my/our offer BSNL shall without prejudice to any other right or remedy, be at liberty to cancel the bid. Further, if I/We fail to occupy the space allotted to us within one month and fail to sign the lease deed within prescribed time, I/We hereby agree that the said BSNL shall without prejudice to any other right or remedy, be at liberty to cancel the bid.

Signature of the Bidder

Seal of Bidder

Place:

Date:

SECTION-IV A

LAND BORDER SHARING CERTIFICATE

(CERTIFICATE TO BE SUBMITTED BY THE BIDDER AND ITS TECHNOLOGY PARTNER ON
COMPANY'S/FIRM'S LETTERHEAD)

This is to certify that I/We, M/s..... (Name & full address) as the front Bidder of this tender and our technology / consortium partner, M/s..... (Name & full address) have read the clause regarding restrictions on procurement from a bidder of a country which shares a land border with India;

1. I/We certify that this bidder is not from such a country or, if from such country, has been registered with the Competent Authority as per F. No: 6/18/2019-PPD dated 23.07.2020 issued by Public Procurement Division, Department of Expenditure, Ministry of Finance, and its subsequent Clarifications. I/We hereby that this bidder fulfills all requirements in this regard and is eligible to be considered. [where applicable, evidence of valid registration by the Competent Authority shall be attached].

2. I have read the clause regarding restrictions on procurement from a bidder of a country which shares a land border with India and on sub-contracting to contractors from such countries. I certify that this bidder is not from such a country or, if from such a country, has been registered with the Competent Authority and will not sub-contract any work to a contractor from such countries unless such contractor is registered with the Competent Authority. I hereby certify that this bidder fulfils all requirements in this regard and is eligible to be considered. [Where applicable, evidence of valid registration by the Competent Authority shall be attached].

3. I am aware that if the certificates given by the bidder in the tender documents regarding compliance with order stated above is found to be false at any later stage, this would be ground for immediate termination and further legal action in accordance with law.

Signature:

Name in Block letters:

Status: Director/Manager/Partner/Proprietor of the Company [on behalf of the front bidder/technology/consortium partner]

SECTION-V
BID FORWARDING LETTER

EOI No. _____ Date _____

The Chief General Manager,
Bharat Sanchar Nigam Limited
BSNL-CHTD, Chennai-600010

Dear Sir,

1. Having examined the conditions of EOI document and specifications including addenda Nos.the receipt of which is hereby duly acknowledged, we, undersigned, offer our bid to take BSNL premises on lease in conformity with the said conditions of contract.
2. We undertake, if our Bid is accepted, to occupy the space immediately as per terms of the Bid Document.
3. We agree to abide by this Bid for a period of 120 days from the date fixed for Bid opening and it shall remain binding upon us and may be accepted at any time before the expiration of that period.
4. Until a formal Letter of Intent of Contract is prepared and executed, this Bid together with your written acceptance thereof in your notification of award shall constitute a binding contract between us.
5. Bid submitted by us is properly sealed and prepared so as to prevent any subsequent alteration and replacement.
6. We understand that you are not bound to accept the highest or any bid, you may receive.

Dated this _____ day of _____ 2022

Name and Signature _____

In the capacity of _____

Duly authorized to sign the bid for and on behalf of _____

witness _____

Address _____

Signature

SECTION VI
LETTER OF AUTHORISATION FOR ATTENDING BID OPENING

(To reach before bid opening)

The Chief General Manager,
Bharat Sanchar Nigam Limited,
BSNL-CHTD, Chennai-600010

Subject: Authorization for attending bid opening on _____ (date) in the EOI for leasing out of built up space in BSNL Building at Various places in Chennai Telephones District.

Following persons are hereby authorized to attend the bid opening for the EOI mentioned above on behalf of _____ (Bidder) in order of preference given below.

Order of Preference Name Specimen Signatures

I.

II.

Alternate Representative

Signatures of bidder

Or

Officer authorized to sign the bid
Documents on behalf of the bidder.

Note:

1. Maximum of two representatives will be permitted to attend bid opening. In cases where it is restricted to one, first preference will be allowed. Alternate representative will be permitted when regular representatives are not able to attend.
2. Permission for entry to the hall where bids are opened may be refused in case authorization as prescribed above is not recovered.

SECTION-VII

(1) Salient features of PGM (S) Building, Guindy

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | 40-E, CIPET Road,
Thiru Vi Ka Industrial Estate,
Guindy, Chennai - 32 |
| 2) Type of building | : | Administrative building |
| 3) Year of Construction | : | 2005 |
| 4) Land Area | : | 2023 sqm |
| 5) Plinth area for Renting out | : | Third floor -- 8,148 Sqft |
| | | Total Area <u> </u> 8,148 Sqft |
| 6) No. Of stories | : | B+G+3 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | Yes |
| 9) Distance from Chennai Central Railway Station | : | Approx. 1 Km from Guindy Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(2) Salient features of Telephone Exchange, Saint Thomas Mount

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | 16, GST Road,
St Thomas Mount Telephone Exchange
Chennai - 16 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1960 |
| 4) Land Area | : | 13341 sqm |
| 5) Plinth area for Renting out | : | Third floor -- 2,489 Sqft |
| | | Total Area <u> 2,489 Sqft</u> |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Guindy Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(3) Salient features of Telephone Exchange, Raj Bhavan, Guindy

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | Sardar Patel Road
Raj Bhavan Telephone Exchange
Guindy |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1991 |
| 4) Land Area | : | 3988 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 3,153 Sqft
Mezzanine floor -- 1,266 Sqft
First floor -- 11,762 Sqft

Total Area <u> </u> 16,181 Sqft |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.3 Km from Guindy Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(4) Salient features of Telephone Exchange, Chrompet

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | No 79, GST Road
Chrompet Telephone Exchange
Chrompet |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1983 |
| 4) Land Area | : | 4330 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 3,166 Sqft |
| | | Total Area <u>3,166</u> Sqft |
| 6) No. Of stories | : | G + 1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Chrompet Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(5) Salient features of Guntur Telephone Exchange, Chengalpattu

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | Guntur Telephone Exchange
Chengalpattu |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 2001 |
| 4) Land Area | : | 10122 sqm |
| 5) Plinth area for Renting out | : | First floor -- 4,861 Sqft |
| | | Total Area <u> </u> 4,861 Sqft |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Chengalpattu
Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking
available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(6) Salient features of Old Telephone Exchange, Chengalpattu

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | Periyar street
Old Telephone Exchange
Chengalpattu |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1958 |
| 4) Land Area | : | 491 sqm |
| 5) Plinth area for Renting out | : | First floor -- 1,470 Sqft |
| | | Total Area <u>1,470</u> Sqft |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.1 Km from Chengalpattu Railway station |
| 10) Availability of Parking space | : | Two wheelers parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(7) Salient features of Telephone Exchange, Madhuranthagam

- | | | | | |
|--|---|---|----|------------------|
| 1) Address and Location of the building | : | GST Road
Madhuranthagam Telephone Exchange
Madhuranthagam | | |
| 2) Type of building | : | Telephone Exchange | | |
| 3) Year of Construction | : | 2001 | | |
| 4) Land Area | : | 3728 sqm | | |
| 5) Plinth area for Renting out | : | First floor | -- | 2,528 Sqft |
| | | Total Area | | <hr/> 2,528 Sqft |
| 6) No. Of stories | : | G+1 | | |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry | | |
| 8) Lift Availability | : | No | | |
| 9) Distance from Chennai Central Railway Station | : | Approx.5 Km from Maduranthagam Railway station | | |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available | | |
| 11) Power Backup | : | Available with sufficient load | | |

SECTION-VII

(8) Salient features of Telephone Exchange, Kodambakkam

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | No 1, Ganga Nagar
Kodambakkam
Chennai - 24 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1972 |
| 4) Land Area | : | 4459 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 2,254 Sqft
GF Temp shed -- 1,068 Sqft
second floor -- 6,492 Sqft

Total Area <u> </u> 9,814 Sqft |
| 6) No. Of stories | : | G+2 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | YES |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Kodambakkam
Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking
available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(9) Salient features of Collectorate RSU, Kanchipuram

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | Collectorate RSU,
Cheyyar - Kanchipuram Rd,
Kanchipuram, Tamil Nadu 631501 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1994 |
| 4) Land Area | : | 2954 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 2,891 Sqft |
| | | Total Area <u> 2,891 Sqft</u> |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Kanchipuram Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(10) Salient features of New Telephone Exchange, Kanchipuram

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | 4A, Vanigar street
Kanchipuram,
Tamil Nadu 631501 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1994 |
| 4) Land Area | : | 3948 sqm |
| 5) Plinth area for Renting out | : | Second floor -- 11,366 Sqft |
| | | Total Area <u>11,366</u> Sqft |
| 6) No. Of stories | : | G+2 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Kanchipuram
Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking
available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(11) Salient features of Old Telephone Exchange, Kanchipuram

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | Old Telephone Exchange
Taluk office compound
Kanchipuram, Tamil Nadu 631501 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1979 |
| 4) Land Area | : | 3684 sqm |
| 5) Plinth area for Renting out | : | Second & third floor -- 4,796 Sqft |
| | | Total Area 4,796 Sqft |
| 6) No. Of stories | : | G+2 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Kanchipuram Railway station |
| 10) Availability of Parking space | : | Two wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(12) Salient features of Telephone Exchange, Sriperumpudur

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | No 4, Sivan Koil street
Sriperumpudur
Kanchipuram dist |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1996 |
| 4) Land Area | : | 959 sqm |
| 5) Plinth area for Renting out | : | Ground & first floor -- 5,050 Sqft |
| | | Total Area <u>5,050</u> Sqft |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.22 Km from Tambaram Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(13) Salient features of Microwave Building, Telephone Exchange, Tiruvallur

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | Jawaharlal Nehru Road
Kakkalur,
Tiruvallur, Tamil Nadu 602001 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1975 |
| 4) Land Area | : | 2849 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 1,076 Sqft |
| | | Total Area <u> 1,076 Sqft</u> |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Tiruvallur Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(14) Salient features of Telephone Exchange, Tiruttani

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | Akkaya Naidu Road
Tiruttani - 09 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1979 |
| 4) Land Area | : | 891 sqm |
| 5) Plinth area for Renting out | : | Ground, First and Second floor -- 1,661 Sqft |
| | | |
| | | Total Area <u>1,661</u> Sqft |
| 6) No. Of stories | : | G+2 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Tiruttani Railway station |
| 10) Availability of Parking space | : | Two wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(15) Salient features of Telephone Exchange, Adayar

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | 42, Dr Muthulakshmi road,
Shastri Nagar,
Adayar, Chennai-600020 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1990 |
| 4) Land Area | : | 4692 sqm |
| 5) Plinth area for Renting out | : | Second floor -- 16,242 Sqft
Third floor -- 4,736 Sqft

Total Area <u>20,978</u> Sqft |
| 6) No. Of stories | : | G+3 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | YES |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Tiruvanmiyur Railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(16) Salient features of Telephone Exchange, Mylapore

- | | | | | | | | | | | | | | | | | | | |
|--|----|--|--------------|----|-------|------|-------------|----|-------|------|--------------|----|-----|------|------------|--|--------------|------|
| 1) Address and Location of the building | : | 166, Luz church road,
Mylapore,
Chennai-600004 | | | | | | | | | | | | | | | | |
| 2) Type of building | : | Telephone Exchange | | | | | | | | | | | | | | | | |
| 3) Year of Construction | : | 1981 | | | | | | | | | | | | | | | | |
| 4) Land Area | : | 1469 sqm | | | | | | | | | | | | | | | | |
| 5) Plinth area for Renting out | : | <table border="0"><tr><td>Ground floor</td><td>--</td><td>1,978</td><td>Sqft</td></tr><tr><td>First floor</td><td>--</td><td>4,158</td><td>Sqft</td></tr><tr><td>Second floor</td><td>--</td><td>916</td><td>Sqft</td></tr><tr><td>Total Area</td><td></td><td><u>7,052</u></td><td>Sqft</td></tr></table> | Ground floor | -- | 1,978 | Sqft | First floor | -- | 4,158 | Sqft | Second floor | -- | 916 | Sqft | Total Area | | <u>7,052</u> | Sqft |
| Ground floor | -- | 1,978 | Sqft | | | | | | | | | | | | | | | |
| First floor | -- | 4,158 | Sqft | | | | | | | | | | | | | | | |
| Second floor | -- | 916 | Sqft | | | | | | | | | | | | | | | |
| Total Area | | <u>7,052</u> | Sqft | | | | | | | | | | | | | | | |
| 6) No. Of stories | : | G+2 | | | | | | | | | | | | | | | | |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry | | | | | | | | | | | | | | | | |
| 8) Lift Availability | : | No | | | | | | | | | | | | | | | | |
| 9) Distance from Chennai Central Railway Station | : | Approx.2 Km from Mylapore Railway station | | | | | | | | | | | | | | | | |
| 10) Availability of Parking space | : | Two wheelers open parking available | | | | | | | | | | | | | | | | |
| 11) Power Backup | : | Available with sufficient load | | | | | | | | | | | | | | | | |

SECTION-VII

(17) Salient features of Telephone Exchange, RK Nagar

- | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|----|--|---------------------|----|-------|------|--------------------|----|-------|------|---------------------|----|-------|------|------------------------|----|-------|------|-----------------------|----|-------|------|------------|--|--|-------------------|
| 1) Address and Location of the building | : | RK Mutt Road,
Chennai-600028 | | | | | | | | | | | | | | | | | | | | | | | | |
| 2) Type of building | : | Telephone Exchange | | | | | | | | | | | | | | | | | | | | | | | | |
| 3) Year of Construction | : | 2006 | | | | | | | | | | | | | | | | | | | | | | | | |
| 4) Land Area | : | 4069 sqm | | | | | | | | | | | | | | | | | | | | | | | | |
| 5) Plinth area for Renting out | : | <table border="0"><tr><td>Tech - Ground floor</td><td>--</td><td>1,132</td><td>Sqft</td></tr><tr><td>Tech - First floor</td><td>--</td><td>8,095</td><td>Sqft</td></tr><tr><td>Tech - Second floor</td><td>--</td><td>2,713</td><td>Sqft</td></tr><tr><td>Non Tech - First floor</td><td>--</td><td>6,082</td><td>Sqft</td></tr><tr><td>Non Tech - Fifthfloor</td><td>--</td><td>6,561</td><td>Sqft</td></tr><tr><td colspan="3">Total Area</td><td><hr/>24,583 Sqft</td></tr></table> | Tech - Ground floor | -- | 1,132 | Sqft | Tech - First floor | -- | 8,095 | Sqft | Tech - Second floor | -- | 2,713 | Sqft | Non Tech - First floor | -- | 6,082 | Sqft | Non Tech - Fifthfloor | -- | 6,561 | Sqft | Total Area | | | <hr/> 24,583 Sqft |
| Tech - Ground floor | -- | 1,132 | Sqft | | | | | | | | | | | | | | | | | | | | | | | |
| Tech - First floor | -- | 8,095 | Sqft | | | | | | | | | | | | | | | | | | | | | | | |
| Tech - Second floor | -- | 2,713 | Sqft | | | | | | | | | | | | | | | | | | | | | | | |
| Non Tech - First floor | -- | 6,082 | Sqft | | | | | | | | | | | | | | | | | | | | | | | |
| Non Tech - Fifthfloor | -- | 6,561 | Sqft | | | | | | | | | | | | | | | | | | | | | | | |
| Total Area | | | <hr/> 24,583 Sqft | | | | | | | | | | | | | | | | | | | | | | | |
| 6) No. Of stories | : | G+6 | | | | | | | | | | | | | | | | | | | | | | | | |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry | | | | | | | | | | | | | | | | | | | | | | | | |
| 8) Lift Availability | : | No | | | | | | | | | | | | | | | | | | | | | | | | |
| 9) Distance from Chennai Central Railway Station | : | Approx. 4 Km from Mylapore Railway station | | | | | | | | | | | | | | | | | | | | | | | | |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available | | | | | | | | | | | | | | | | | | | | | | | | |
| 11) Power Backup | : | Available with sufficient load | | | | | | | | | | | | | | | | | | | | | | | | |

SECTION-VII

(18) Salient features of Mambalam Telephone Exchange, Nandanam

- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|----|---|-------------------|----|-------|------|-------------------|----|-------|------|------------------|----|-----|------|------------------|----|-------|------|------------------|----|-------|------|----------------|----|-------|------|------------|--|-------|-------------|
| 1) Address and Location of the building | : | Annasalai,
Nandanam,
Chennai – 600 035 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2) Type of building | : | Telephone Exchange | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3) Year of Construction | : | 1982 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4) Land Area | : | 445 sqm | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5) Plinth area for Renting out | : | <table border="0"><tr><td>GF front building</td><td>--</td><td>6,629</td><td>Sqft</td></tr><tr><td>FF front building</td><td>--</td><td>4,612</td><td>Sqft</td></tr><tr><td>GF rear building</td><td>--</td><td>600</td><td>Sqft</td></tr><tr><td>FF rear building</td><td>--</td><td>1,714</td><td>Sqft</td></tr><tr><td>SF rear building</td><td>--</td><td>3,234</td><td>Sqft</td></tr><tr><td>Sub station FF</td><td>--</td><td>1,798</td><td>Sqft</td></tr><tr><td>Total Area</td><td></td><td><hr/></td><td>18,587 Sqft</td></tr></table> | GF front building | -- | 6,629 | Sqft | FF front building | -- | 4,612 | Sqft | GF rear building | -- | 600 | Sqft | FF rear building | -- | 1,714 | Sqft | SF rear building | -- | 3,234 | Sqft | Sub station FF | -- | 1,798 | Sqft | Total Area | | <hr/> | 18,587 Sqft |
| GF front building | -- | 6,629 | Sqft | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FF front building | -- | 4,612 | Sqft | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GF rear building | -- | 600 | Sqft | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FF rear building | -- | 1,714 | Sqft | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SF rear building | -- | 3,234 | Sqft | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Sub station FF | -- | 1,798 | Sqft | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total Area | | <hr/> | 18,587 Sqft | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6) No. Of stories | : | G+2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 8) Lift Availability | : | No | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 9) Distance from Chennai Central Railway Station | : | Near Nandanam Metro station | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10) Availability of Parking space | : | Two wheelers open parking available | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 11) Power Backup | : | Available with sufficient load | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

SECTION-VII

(19) Salient features of Anna Road Telephone Exchange, Dams Road

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | 10, Dams road
Chennai – 600 002 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1982 |
| 4) Land Area | : | 5,666 sqm |
| 5) Plinth area for Renting out | : | Old TE, GF -- 1,606 Sqft
Old TE, FF -- 4,989 Sqft
New TE, 7 th floor -- 9,090 Sqft
New TE, 8 th floor -- 7,564 Sqft

Total Area 23,249 Sqft |
| 6) No. Of stories | : | G+8 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Near LIC Metro station |
| 10) Availability of Parking space | : | Two wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(20) Salient features of Telephone Exchange, Haddows Road

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | Haddows Road
Nungambakkam,
Chennai |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1985 |
| 4) Land Area | : | 5,337 sqm |
| 5) Plinth area for Renting out | : | GF -- 2,627 Sqft |
| | | Total Area 2,627 Sqft |
| 6) No. Of stories | : | G+5 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | 2 Km from Nungambakkam
railway station |
| 10) Availability of Parking space | : | Two wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(21) Salient features of Telephone Exchange, Flower Bazaar

- | | | | | |
|--|---|--|----|--------------------|
| 1) Address and Location of the building | : | 1, NSC Bose Road
Flower Bazaar
Chennai – 600 001 | | |
| 2) Type of building | : | Telephone Exchange | | |
| 3) Year of Construction | : | 1973 | | |
| 4) Land Area | : | 7325 sqm | | |
| 5) Plinth area for Renting out | : | Amenity Building | | |
| | | first floor | -- | 4,992 Sqft |
| | | second floor | -- | 4,655 Sqft |
| | | Total Area | | <u>9,647</u> Sqft |
| | | CTX Building | | |
| | | first floor | -- | 10,798 Sqft |
| | | second floor | -- | 16,733 Sqft |
| | | Total Area | | <u>27,531</u> Sqft |
| 6) No. Of stories | : | G+2 | | |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry | | |
| 8) Lift Availability | : | YES | | |
| 9) Distance from Chennai Central Railway Station | : | Approx 1KM from Chennai Central Railway Station | | |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available | | |
| 11) Power Backup | : | Available with sufficient load | | |

SECTION-VII

(21) Salient features of Telephone Exchange, Flower Bazaar

- 1) Address and Location of the building : 1, NSC Bose Road
Flower Bazaar
Chennai – 600 001
- 2) Type of building : Telephone Exchange
- 3) Year of Construction : 1973
- 4) Land Area : 7325 sqm
- 5) Plinth area for Renting out :

Amenity Building			
first floor	--	4,992	Sqft
second floor	--	4,655	Sqft
Total Area		9,647	Sqft
CTX Building			
first floor	--	10,798	Sqft
second floor	--	16,733	Sqft
Total Area		27,531	Sqft
- 6) No. Of stories : G+2
- 7) Entry to the Vacant Area : Each floor is having a separate entry
- 8) Lift Availability : YES
- 9) Distance from Chennai Central Railway Station : Approx 1KM from Chennai Central Railway Station
- 10) Availability of Parking space : Two and Four wheelers open parking available
- 11) Power Backup : Available with sufficient load

SECTION-VII

(22) Salient features of Telephone Exchange, Harbour

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | Jaffar Sarag Street
Chennai – 600 001 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1982 |
| 4) Land Area | : | 4216 sqm |
| 5) Plinth area for Renting out | : | first floor -- 11,345 Sqft
third floor -- 14,338 Sqft
fourth floor -- 14,338 Sqft
Total Area <u> </u> 40,021 Sqft |
| 6) No. Of stories | : | G+4 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | YES |
| 9) Distance from Chennai Central Railway Station | : | Approx 1KM from Chennai Central Railway Station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(23) Salient features of Telephone Exchange, Kalmandapam

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | Kalmandapam Rd, GA Nagar,
Old Washermanpet,
Chennai, Tamil Nadu 600021 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1963 |
| 4) Land Area | : | 3111 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 3,504 Sqft
First floor -- 4,049 Sqft
Total Area <u>7,553</u> Sqft |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx 4 KM from Chennai Central Railway Station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(24) Salient features of Telephone Exchange, Ennore

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | Tiruvottiyur High Road
Tiruvottiyur,
Chennai, Tamil Nadu 600019 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1978 |
| 4) Land Area | : | 7891 sqm |
| 5) Plinth area for Renting out | : | First floor -- 4,607 Sqft |
| | | Total Area <u> </u> 4,607 Sqft |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Near Tiruvottiyur metro station |
| 10) Availability of Parking space | : | Two wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(25) Salient features of Telephone Exchange, Manali

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | Iron and steel Market
Manali
Chennai, Tamil Nadu |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1999 |
| 4) Land Area | : | 729 sqm |
| 5) Plinth area for Renting out | : | First floor -- 2,803 Sqft |
| | | Total Area <u> </u> 2,803 Sqft |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx 9 KM to Tiruvottiyur metro station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(26) Salient features of Telephone Exchange, Redhills

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | Tiruvallur Highway
Padiyanallur, Red Hills
Chennai, Tamil Nadu |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1999 |
| 4) Land Area | : | 7082 sqm |
| 5) Plinth area for Renting out | : | First floor -- 2,820 Sqft |
| | | Total Area <u> 2,820 Sqft</u> |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx 20 KM from Chennai central railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(27) Salient features of Telephone Exchange, Gummidipoondi

- | | | | | |
|--|---|--|----|------------------|
| 1) Address and Location of the building | : | SIPCOT JCT Road
Gummidipoondi SIPCOT
Pappankuppam, Tamil Nadu 601201 | | |
| 2) Type of building | : | Telephone Exchange | | |
| 3) Year of Construction | : | 1987 | | |
| 4) Land Area | : | 3602 sqm | | |
| 5) Plinth area for Renting out | : | First floor | -- | 3,182 Sqft |
| | | Total Area | | <hr/> 3,182 Sqft |
| 6) No. Of stories | : | G+1 | | |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry | | |
| 8) Lift Availability | : | No | | |
| 9) Distance from Chennai Central Railway Station | : | Approx 46 KM from Chennai central railway station | | |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available | | |
| 11) Power Backup | : | Available with sufficient load | | |

SECTION-VII

(28) Salient features of Telephone Exchange, Suravarikandigai

- | | | |
|--|---|---|
| 1) Address and Location of the building | : | Suravaikandigai
Tamil Nadu 601201 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1981 |
| 4) Land Area | : | 2023 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 1,931 Sqft |
| | | Total Area <u>1,931</u> Sqft |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx 50 KM from Chennai central railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(29) Salient features of Telephone Exchange, Kellys

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | Kellys Rd,
Kilpauk,
Chennai, Tamil Nadu 600010 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1968 |
| 4) Land Area | : | 7129 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 3,070 Sqft
First floor -- 3,070 Sqft

Total Area <u> </u> 6,140 Sqft |
| 6) No. Of stories | : | G+1 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx 5 KM from Chennai central railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(30) Salient features of Telephone Exchange, Anna nagar

- | | | | | |
|--|---|--|----|-------------------|
| 1) Address and Location of the building | : | 3rd Avenue, Block M
Annanagar East,
Chennai, Tamil Nadu 600102 | | |
| 2) Type of building | : | Telephone Exchange | | |
| 3) Year of Construction | : | 1992 | | |
| 4) Land Area | : | 4060 sqm | | |
| 5) Plinth area for Renting out | : | Ground floor | -- | 2,928 Sqft |
| | | First floor | -- | 7,266 Sqft |
| | | Total Area | | <hr/> 10,194 Sqft |
| 6) No. Of stories | : | G+2 | | |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry | | |
| 8) Lift Availability | : | No | | |
| 9) Distance from Chennai Central Railway Station | : | Approx 10 KM from Chennai central railway station | | |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available | | |
| 11) Power Backup | : | Available with sufficient load | | |

SECTION-VII

(31) Salient features of Telephone Exchange, Ambattur

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | Sidco Industrial Estate,
Madras Tiruvallur Highroad
Ambattur, Chennai, Tamil Nadu 600098 |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1988 |
| 4) Land Area | : | 7527 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 8,611 Sqft
First floor -- 2,842 Sqft
Second floor -- 2,691 Sqft

Total Area <u>14,144</u> Sqft |
| 6) No. Of stories | : | G+2 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx 17 KM from Chennai central railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION-VII

(32) Salient features of Telephone Exchange, Perambur

- | | | |
|--|---|--|
| 1) Address and Location of the building | : | AA Road
Vyasar Nagar
Perambur |
| 2) Type of building | : | Telephone Exchange |
| 3) Year of Construction | : | 1990 |
| 4) Land Area | : | 4047 sqm |
| 5) Plinth area for Renting out | : | Ground floor -- 5,382 Sqft
First floor -- 7,309 Sqft
Second floor -- 5,920 Sqft

Total Area <u>18,611</u> Sqft |
| 6) No. Of stories | : | G+2 |
| 7) Entry to the Vacant Area | : | Each floor is having a separate entry |
| 8) Lift Availability | : | No |
| 9) Distance from Chennai Central Railway Station | : | Approx 7 KM from Chennai central railway station |
| 10) Availability of Parking space | : | Two and Four wheelers open parking available |
| 11) Power Backup | : | Available with sufficient load |

SECTION - VIII

(DECLARATION TO BE GIVEN BY THE BIDDERS WHO HAVE DOWNLOADED THE EOI DOCUMENT FROM THE WEB)

It is to certify that

1. I/We have submitted the bid in the Proforma as downloaded directly from the web site.
2. I/We have submitted EOI documents which are same/identical as available in the website.
3. I/We have not made any modification/corrections/ additions etc. in the EOI documents downloaded from web by me/us.
4. I/We have checked no page is missing and all pages are available & that all pages of EOI document submitted by us are clear and legible.
5. I/We have signed (with stamp) all the pages of the EOI document before submitting the same.
6. I/We have sealed the EOI documents properly before submitting the same.
7. I/We have read carefully and understood the important instructions to the all bidders who have downloaded the tenders from the web.
8. In case at any stage later, it is found there is difference in our downloaded EOI documents from the original, BSNL shall have the absolute right to take any action as deemed fit without any prior intimation to me/us.
9. In case at any stage later, it is found that there is difference in our downloaded EOI documents from the original, the lease agreement will be cancelled. The department will not pay any damages to me/us on this account.
10. In case at any stage later, it is found that there is difference in our downloaded EOI documents from the original, I/We may also be debarred for further participation in the EOI in the concerned BSNL Circle.

Dated.....

(BIDDER)

(SIGN WITH SEAL)

ADDRESS:.....

PHONE NOS:.....

Mobile No:.....

E-MAIL.....

SECTION - IX

STANDARD LEASE AGREEMENT (SLA) FOR RENTING OUT SPACE

AN AGREEMENT MADE THIS DAY OF TWO THOUSAND AND
.....

BETWEEN

Bharat Sanchar Nigam Limited, a Government Company incorporated under Companies Act 1956 and having its registered office at Bharat Sanchar Bhawan, Harish Chandra Mathur Lane New Delhi 110001 and also having inter alia one of its field Unit/office at (hereinafter referred as „BSNL“ or „Lessor“ which expression shall include its successors, assigns, administrators, liquidators and receivers ,wherever the context of meaning shall so require or permit) of the ONE PART

AND

.....
.....Address.....
.....herein after Called „The Lessee’s (which expression shall include its successors assigns, administrators, liquidators and receivers, wherever the context of meaning shall so require or permit) of the OTHER PART.

WHEREBY IT IS AGREED AND DECLARED AS FOLLOWS:-

Whereas BSNL /Lessor has invited the EOI No. dated for
..... Based upon the evaluation of EOI Lessee
..... has been short listed foron the terms & conditions as agreed herein in this agreement.

NOTE: Where the context so requires, words imparting the singular only also include the plural and vice versa. Any reference to masculine gender shall wherever required include feminine gender and vice versa.

1. In consideration of the rent hereinafter reserved and of the other conditions herein contained, the Lessor agrees to let out and Lessee agrees to take on lease the premises known as
.....together with all fixtures and fittings standing and being thereon building related services (external & internal called “THE SAID PREMISES”) more particularly described in SCHEDULE A.
2. The lease shall commence/shall be deemed to have been commenced on the..... Day of Two thousand and and shall, subject to the terms hereof, continue for a term of three year(s) with an option to extend the period of lease for a further term as set out in Clause 18 hereof.
3. The Lessee shall, subject to the terms hereof, pay gross rent in monthly arrears for the said premises at the rate of Rs. per month which shall be deemed to be exclusive of maintenance and all the taxes payable to municipal or other local/state/other bodies (except Property/House Tax). The rent along with operation & maintenance charge as stipulated in para 4 is payable in advance before 10th of every month failing which the amount with interest at the rate of bank rate (presently *** %) plus 4% for the period of delay shall be recovered by BSNL (Lessor). In the event of the tenancy hereby created, being terminated as provided by these presents, the Lessee shall pay only a proportionate part of the rent for the fraction of the current month up to the date of such termination. The monthly rent is hereby agreed to remain fixed during the period of lease of three years subject to provisions in clause 9.
4. The operation and maintenance charges at the rate of Rs. ...*... per Sqft per month with applicable taxes will be charged over and above the monthly rent and it will be proportionately enhanced with respect to enhancement of the rent. The operation and maintenance of the following items (*) are covered under the said charges:

- i. Electrical fixtures, fittings, installations, compound lights and pumps.
- ii. Lifts.
- iii. Sub station.
- iv. Diesel generators.
- v. Building management systems.
- vi. Fire fighting systems wherever available.
- vii. Deployment of security for entire campus and common area.
- viii. Housekeeping for entire campus in common area.

*(In the financial bid – Section X- to be quoted by the bidder)

Security arrangement of the premises under possession of the Lessee shall be the responsibility of Lessee. Lessor (BSNL) shall not be responsible for any loss of installation, equipment etc. The rate of maintenance charges as stated in Para 4 above are exclusive of electricity, water charges etc.

Rented premises shall not display any publicity material of competing telecom companies. Further, BSNL shall reserve the right for utilizing the premises for publicity/other purposes.

5. That the Lessee shall pay to the Lessor a sum of Rs..... (Rupees) as advance rent of one month and a sum of Rs..... (Rupees) (three months rent) as Security Deposit on signing of this agreement, free of interest, which will be refunded at the time of the premises having been handed back properly to the Lessor with the fittings and fixtures etc. in good condition, all alterations made with due permission of Lessor are restored, all dues having been cleared. Otherwise the same shall be adjusted against the said security deposit.

5(A).

That the Lessor shall have right to adjust from security deposit, the mutually agreed sum, which has to be incurred by him on account of major damages to the building/premises. The major damages, levy, shall be ascertained jointly by Lessor & Lessee. The Lessee shall not be liable to pay normal wear and tear.

6. The said premises shall be deemed to include the fixtures and fittings existing thereon as shown in Schedule „B“ and the Lessee shall upon the expiration of the term hereby created or any renewal thereof and subject to clause 14 hereof yield up the said premises including fixtures and fittings in as good a condition as received.
7. The Lessee shall be entitled to use the said premises for the purpose for lawful business of Lessee and is not detrimental to the interest of the Lessor.
8. The Lessee shall not sublet assign or otherwise part with the whole or any part or parts of the said premises during the period of tenancy nor will allow at the time of vacating the premises and will handover peacefully vacant possession to the Lessor or his authorized agent.
9. That the Municipal Tax (except Property/House Tax) or other local tax levied by local authority and water charges are borne by the Lessee proportionately including any future revision with retrospective effect for the area of occupation. Any other tax or any hike imposed by the appropriate authority is to be borne by the Lessee. Goods and Services tax at the prescribed rates is to be borne by the Lessee. It is made absolutely clear, in this deed that it shall be the sole responsibility of the Lessee to pay all such charges as stated in paras 9 & 10 to Govt. and /or other Govt. authorities. It is agreed that in case the lesser is required to pay or forced to pay such taxes, charges, the Lessor may pay the same and deduct the same from the security deposit, in such events, short fall in any security deposit during the currency of agreement shall be payable by Lessee with the following monthly rent payable, so as to secure deposit of Rs keeps deposited with Lessor throughout the lease period. The lease is subject to the local authority bye laws. The Lessee shall comply with municipal and other charges. If the Govt/local authority objects to lease out the BSNL premises, then the bidder has to vacate the same and BSNL shall not be liable to pay any compensation for the same.

10. That the Lessee shall pay all charges in respect of electric power, light used in the said premises in accordance with the separate meter / sub-meters installed therein during the currency of this agreement including proportionate fixed charges against bills raised by the appropriate authorities beginning from the date of taking over the demised possession of the said premises. The cost of separate meter /sub-meter including its installations shall be borne by the Lessee.

*** In Case of power backup taken up through DG from BSNL is taken by the lessee, then the lessee will have to pay for the operation cost of DG proportionately based on the actual consumption of power by lessee.

11. That at the time of occupation, the Lessee shall see that all fittings and fixtures are in perfect order and shall be responsible to restore this in the same condition in which they have been taken over except natural wear and tear.
12. That the Lessee shall allow the Lessor or his authorized agent to enter the said premises at the reasonable hours or when necessary for inspection/repair etc.
13. The responsibility for registration / documentation of this indenture would be that of the Lessee and all expenses in that regard would be borne by the Lessee / tenant. The registration of this agreement should be got done by the Lessee within a period of TWO months (*time period as per local laws, rules and regulations to be mentioned*) from the date it is signed. One copy of the registered document would be supplied by the Lessee to the Lessor within 15 days of the registration thereof.
14. That the Lessee shall be entitled to erect and fix up partitions, cubicles and other fixtures and fitting and meters into or upon the said premises or any part thereof after getting approval of the same from the Lessor provided that same shall in all events confirm the building bye laws of the authority concerned for time being. However, at the expiry of this lease or extension. If any, the Lessee will hand over vacant possession of the said premises in its normal original condition after removing at its own cost all and fixture installed by the Lessee. The Lessee shall not make any structural changes, addition/alterations in the premises.
15. That day to day repairs arising out of the normal wear and tear or resulting from any modifications by the Lessee shall be done by the Lessee at his own cost but any major structural repairs will have to be done by the Lessor at his own cost. Lessor shall have power to remove any the fixture/fittings or modification done by the Lessee if it is felt that such changes as done under clause 14 will damage the structure of the building.
16. The Lessor shall not be liable for loss of profit or loss of goodwill arising from the occupation of the said premises by the Lessee and the Lessee shall make no claim in respect thereof.
17. The Lessee agrees with the Lessor to abide by the terms and conditions of the lease deed and shall peacefully hold and enjoy the said premises during the said terms and any renewal thereof without any interruption or disturbance to the Lessor by him or any person claiming by or through or under them.
18. If the Lessee shall be desirous of extending the lease of the said premises after the expiration of the term hereby granted, it will give a notice in writing to the Lessor not less than one month before the expiration of the term hereby granted to the Lessor. Thereupon the Lessor may renew the lease for a further period of three years in accordance with the covenants, agreements and conditions as in the present agreement including the present covenant for renewal provided that such revision shall be with 15% increase in rent (i.e. @ 5% per annum) of the last rent paid at the time of such revision.. However, it is agreed condition that if no such mutual agreement is reached the Lessee shall vacate the premises on the expiry of the time of lease deed. Only two such extensions of maximum duration of 3 years each may be considered and the Lessee shall have to vacate the premises after a total period of 9 years.
19. The Lessor shall be entitled to terminate the lease at any time giving to the Lessee a three month advance notice in writing of its intention to do so.
20. That in case of default of non-payment of the lease amount for the maximum period of three (3) months, then this agreement shall stand automatically terminated and the Lessee shall have to vacate the premises immediately. No claim whatsoever will be entertained.

21. The Lessor has right to recover any amount due to Lessee from the Security Deposit available with Lessor and the decision of the Lessor will be final and binding on the Lessee.
22. Any notice to be made or given to the Lessor under these presents or in connection with the said premises shall be considered as duly given if sent by the Lessee through the post by registered letter/speed post addressed to the officer who signs this agreement on behalf of Lessor and a copy to the Head of BSNL Field Unit/circle concerned and any notice given to the Lessee shall be considered as duly given if sent by the Lessor through the post by registered letter/speed post addressed to the Lessee at their last known place of abode. Any demand or notice sent by the registered post in either case shall be assumed to have been delivered in the usual course of Post.
23. That in case of any dispute with regard to this LEASE AGREEMENT, the same shall be subject to the jurisdiction of Courts at **Chennai** (*i.e. Place/ circle where agreement is signed*) and Indian Law shall be applicable. However during the pendency of the dispute, "the Lessee shall not stop payment of rent and other CHARGES if it is in possession of the demise premises and other terms shall also continue to apply."
24. Except as otherwise provided elsewhere in the contract, in the event of any disputes, controversy or differences arising out of or relating to this agreement or the breach, termination or invalidity thereof between the parties, such party or parties shall make a request to the other party or parties to amicably settle such differences or disputes and parties shall thereupon make every effort to settle the same amicably within a period of 60 (sixty) days from the date of making of such request.

Where parties are unable to settle the disputes through conciliation, the same shall be referred to the authority in BSNL (CMD/CGM/GMTD, as the case may be) for referral of such disputes to a sole arbitrator (chosen from the name(s) provided by BSNL), to be mutually decided by the parties, as per the provisions of the Arbitration and Conciliation Act 1996, any amendment thereof and any notification issued or rules made there under from time to time.

The venue of the arbitration proceeding shall be _____ (New Delhi or Circle/SSA HQ, as the case may be)

The fees, if any, of the arbitrator shall, if required to be paid before the award is made and published, be paid half and half by each of the parties. The cost of the reference and of the award (including fees, if any, of the arbitrator) shall be in the discretion of the arbitrator who may direct to any, by whom and in what manner, such cost or any part thereof, shall be paid and fix or settle the amount of costs to be so paid.

24(A)

In the event of any dispute or difference relating to the interpretation and application of the provisions of this agreement where Lessee is a Central Public Sector Enterprise (CPSE)/ Port Trust or Government Department / Organization (excluding disputes concerning Railways, Income Tax, Customs & Excise Departments), such dispute or difference shall be taken up by either party for resolution through Administrative Mechanism for Resolution of CPSEs Disputes (AMRCD) as mentioned in DPE OM No. 4(1)/2013-DPE(GM)/FTS-1835 dated 22-05-2018.

25. In the event of Lessee committing any breach of terms & conditions herein contained and Lessee has not rectified the said breach within 30 days, after the same has been brought to their notice by the Lessor, the Lessor shall be at liberty to terminate the agreement by giving one month's notice in writing terminating the lease & upon expiring of such notice Lessee shall stand terminated.
26. Upon the termination or earlier determination of this agreement, in the event of the Lessee failing to remove the employees/representative, his belonging, furniture & fixtures etc& hand over the vacant and peaceful possession thereof to the Lessor, it is agreed that Lessee shall pay to all Lessor mesne profit of Rs1000/- per day in addition to the monthly rent payable, without prejudice to other rightful remedy, from the date of such default until such time of the Lessee have removed their articles, belonging, fixture, effects, employee etc. from said premises and handed over peaceful possession of these to the Licensor. The said mesne profit in case not paid regularly will be adjusted / deducted from the security deposit lodged with the Lessor. The payment of mesne profit however does not absolve the Lessee to their obligations to vacant the premises on the expiry or termination of this agreement.

Date:

Place:

Witnesses:

1.

2.

Note:- Portions which are not applicable may be scored off at the time of filling up of the Standard Lease Agreement (SLA) format.

SECTION - X
PRICE SCHEDULE - FINANCIAL BID

To
The Chief General Manager
BSNL-CHTD, Chennai-600010

Sir,
With reference to the EOI no. _____ dated _____, we, _____
I/We offer the following price to take the said premises of BSNL on lease basis in accordance with the terms and conditions mentioned therein, as under:

Sl. No	Location & Address	Total Plinth (Built up) area (Sqft)	Monthly rent per Square Feet of plinth area including O&M charges and excluding taxes (In Rupees)	Total monthly rent in rupees	Likely usage of the rented space
South OA					
1. PGM (S) Building, Guindy					
	(a) 3rd floor	8,148			
2. Telephone Exchange, Saint Thomas Mount					
	(a) Ground floor	2,489			
3. Telephone Exchange, Raj Bhavan, Guindy					
	(a) Ground floor	3,153			
	(b) Mezzanine floor	1,266			
	(c) First floor	11,762			
4. Telephone Exchange, Chrompet					
	(a) Ground floor	3,166			
5. Guntur Telephone Exchange, Chengalpattu					
	(a) First floor	4,861			
6. Old Telephone Exchange, Chengalpattu					
	(a) First floor	1,470			
7. Telephone Exchange, Madhuranthagam					

	(a) First floor	2,528			
West OA					
8. Telephone Exchange, Kodambakkam					
	(a) Ground floor	2,254			
	(b) Ground floor (Temporary shed)	1,068			
	(c) Second floor	6,492			
9. Collectorate RSU, Kanchipuram					
	(a) Ground & First floor	2,891			
10. New Telephone Exchange, Kanchipuram					
	(a) Second floor	11,366			
11. Old Telephone Exchange, Kanchipuram					
	(a) Second and Third floor	4,796			
12. Telephone Exchange, Sriperumpudur					
	(a) Ground and First floor	5,050			
13. Microwave Building, Telephone Exchange, Tiruvallur					
	(a) First floor	1,076			
14. Telephone Exchange, Tiruttani					
	(a) Ground, First and Second floor	1,661			
Central OA					
15. Telephone Exchange, Adayar					
	(a) Third floor	4,736			
	(b) Second floor	16,242			
16. Telephone Exchange, Mylapore					
	(a) Ground floor	1,978			
	(b) First floor	4,158			

	(c) Second floor	916			
17. Telephone Exchange, RK Nagar					
	(a) Tech Block - Ground floor	1,132			
	(b) Tech Block - First floor	8,095			
	(c) Tech Block - Second floor	2,713			
	(d) Non Tech Block - First floor	6,082			
	(e) Non Tech Block - Fifth floor	6,561			
18. Mambalam Telephone Exchange, Nandanam					
	(a) Ground floor – Front building	6,629			
	(b) First floor – Front building	4,612			
	(c) Ground floor – Rear building	600			
	(d) First floor – Rear building	1,714			
	(d) Second floor – Rear building	3,234			
	(e) Sub Station – First floor	1,798			
19. Anna Road Telephone Exchange, Dams Road					
	(a) Old TE Building – Ground Floor	1,606			
	(b) Old TE Building – First Floor	4,989			
	(c) New TE Building – Seventh Floor	9,090			
	(d) New TE Building – Eighth Floor	7,564			
20. Telephone Exchange, Haddows Road					
	(a) Ground Floor	2,627			
North OA					
21. Telephone Exchange, Flower Bazaar					
	(a) Amentiy building, First floor	4,992			
	(b) Amentiy building, Second floor	4,655			

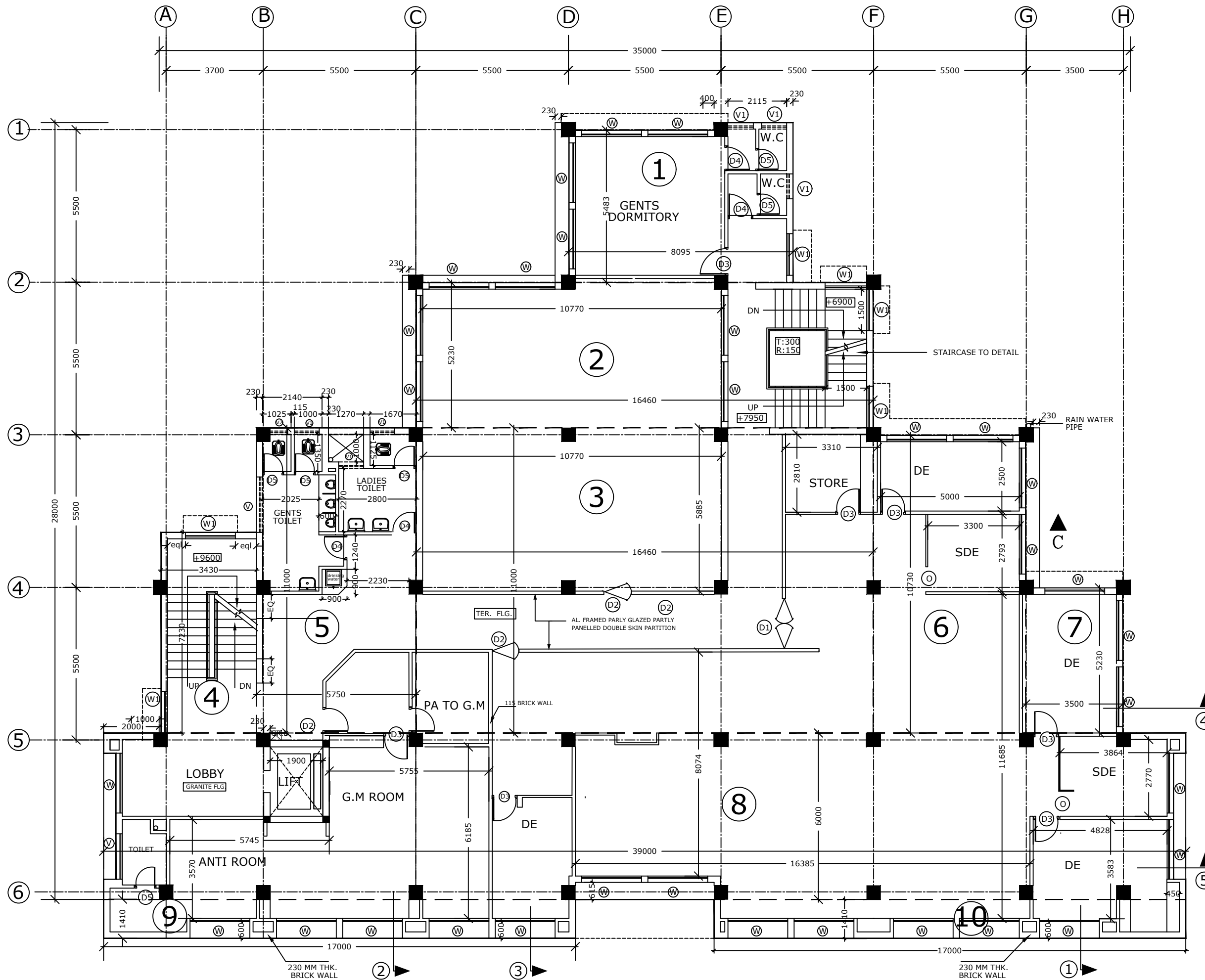
	(c) Amentiy building, Fourth floor	4,841			
	(d) CTX building, First floor	10,798			
	(e) CTX building, Second floor	16,733			
22. Telephone Exchange, Harbour					
	(a) First floor	11,345			
	(b) Third floor	14,338			
	(c) Fourth floor	14,338			
23. Telephone Exchange, Kalmandapam					
	(a) Ground floor	3,504			
	(b) First floor	4,049			
24. Telephone Exchange, Ennore					
	(a) First floor	4,607			
25. Telephone Exchange, Manali					
	(a) First floor	2,803			
26. Telephone Exchange, Red Hills					
	(a) First floor	2,820			
27. Telephone Exchange, Gummidipoondi					
	(a) First floor	3,182			
28. Telephone Exchange, Suravarikandigai					
	(a) Ground floor	1,931			
29. Telephone Exchange, Kellys					
	(a) Ground floor	3,070			
	(b) First floor	3,070			
30. Telephone Exchange, Anna nagar					
	(a) Ground floor	2,928			

	(b) First floor	7,266			
31. Telephone Exchange, Ambattur					
	(a) Ground floor	8,611			
	(b) First floor	2,842			
	(c) second floor	2,691			
32. Telephone Exchange, Perambur					
	(a) Ground floor	5,382			
	(b) First floor	7,309			
	(c) second floor	5,920			

Yours Faithfully

Signature
of the Authorized Signatory of the Bidder with seal

- i. Amount to be mentioned clearly in Indian form of international numerals.
- ii. No corrections/alterations are permitted while mentioning the amount.
- iii. Amount to be written in both figures and words. If there is any difference between figures and words, the words will prevail.



ARCHITECTURAL WING

CHIEF ARCHITECT (SOUTHERN ZONE)
BHARAT SANCHAR NIGAM LTD.
(A GOVERNMENT OF INDIA ENTERPRISE)

Plinth Area 8148 sqft

REV.NO.	DATE	REMARKS	DEALT
A.	26.04.04	DRAWING REVISED IN ACCORDANCE WITH LR.NO: 23(301)/PCE(C)/BSNL/CH/2004/438 DT.25/03/04 RECD. FROM THE EE(C) P&D II, BSNL, CHENNAI.	AMALA

APPROVED BY:

CHIEF ARCHITECT

OFFICE OF THE

SENIOR ARCHITECT CHENNAI.

PROPOSED CONSTRUCTION OF
DTO BUILDING AT GUINDY

JOB NO: SAC\893
DRG NO: WD/05A

SCALE: 1:100
DEALT: AMALA
DATE: AUG' 2000

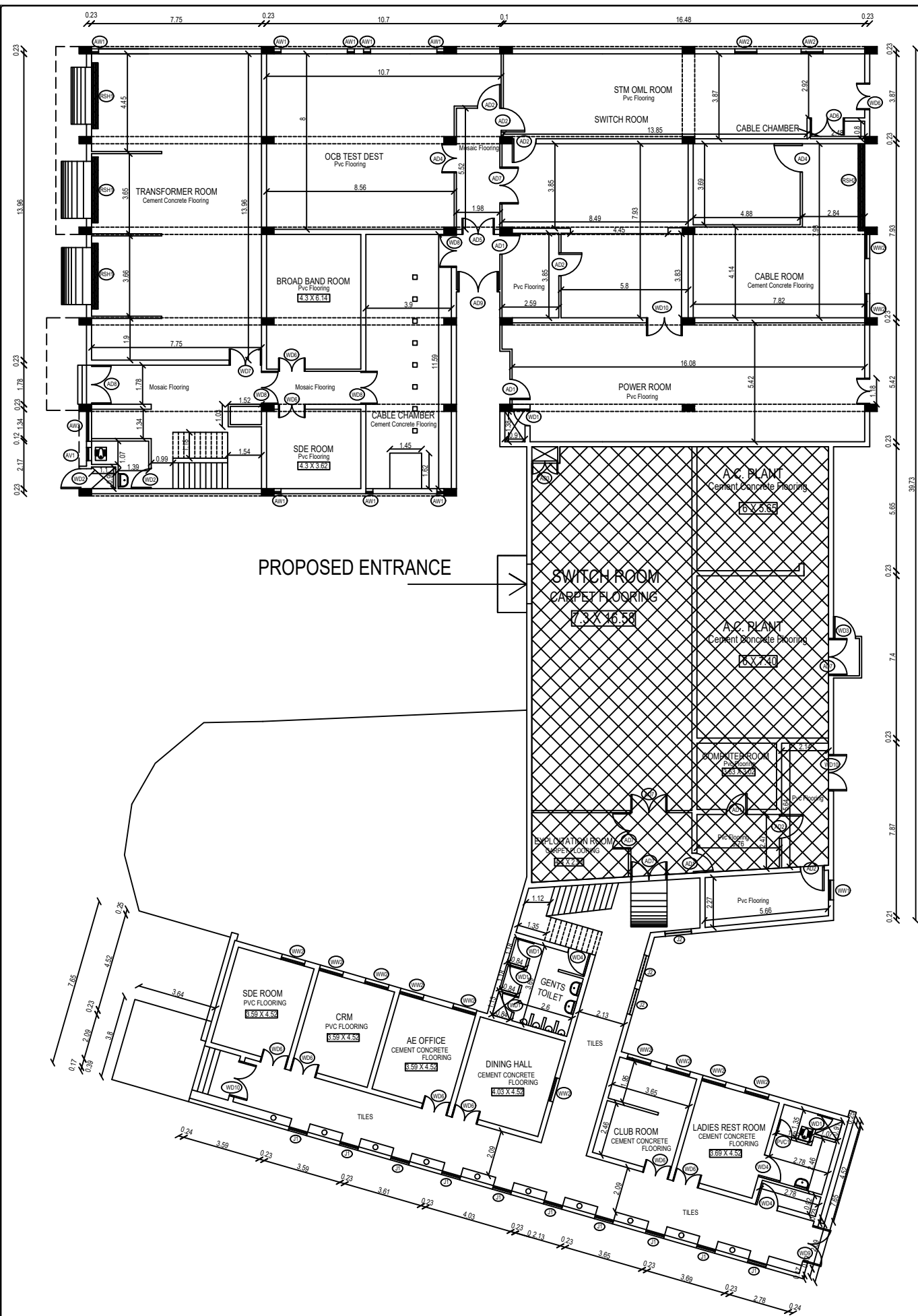
THIRD FLOOR PLAN
WORKING DRAWING



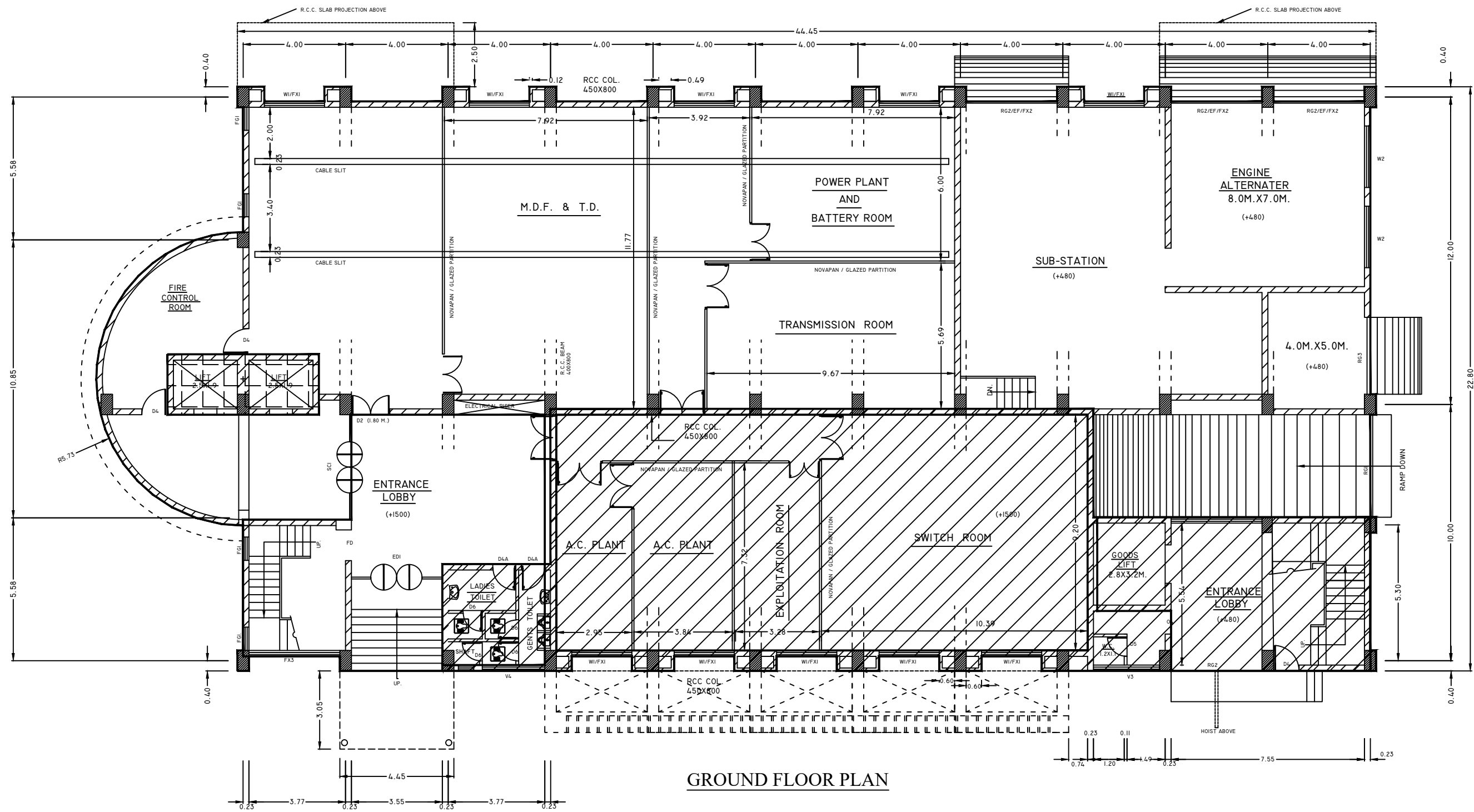
ASSTT./DEPUTY.Architect

UMA.M
ARCHITECT
REGN.NO:CA/90/13368

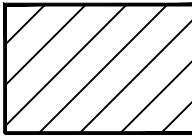
A.M.JASON
SENIOR ARCHITECT
REGN.NO:CA/75/1119



ORIENTATION	
AREA DETAILS:-	
THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS	
GROUND FLOOR	SQ.M
PLINTH AREA	1238.35
CARPET AREA	1059.06
JOINERY DETAILS:-	
AD1 ALUMINIUM DOOR	0.95 X 2.13
AD2 ALUMINIUM DOOR	1.08 X 2.13
AD3 ALUMINIUM DOOR	1.18 X 2.13
AD4 ALUMINIUM DOOR	1.30 X 1.80
AD5 ALUMINIUM DOOR	1.47 X 2.23
AD6 ALUMINIUM DOOR	1.55 X 2.32
AD7 ALUMINIUM DOOR	1.65 X 2.13
AD8 ALUMINIUM DOOR	1.78 X 2.21
AD9 ALUMINIUM DOOR	1.86 X 2.23
WD1 WOODEN DOOR	0.75 X 1.98
WD2 WOODEN DOOR	0.91 X 2.08
WD3 WOODEN DOOR	1.00 X 2.23
WD4 WOODEN DOOR	1.02 X 2.15
WD5 WOODEN DOOR	1.18 X 2.48
WD6 WOODEN DOOR	1.20 X 2.15
WD7 WOODEN DOOR	1.47 X 2.45
WD8 WOODEN DOOR	1.50 X 2.23
WD9 WOODEN DOOR	1.80 X 2.52
WD10 WOODEN DOOR	1.65 X 2.52
PVC DOOR	0.75 X 1.98
AW1 ALUMINIUM WINDOW	0.32 X 1.32
AW2 ALUMINIUM WINDOW	0.80 X 1.00
AW3 ALUMINIUM WINDOW	0.30 X 1.30
WW1 ALUMINIUM WINDOW	0.90 X 1.10
WW2 ALUMINIUM WINDOW	1.10 X 1.30
AV1 ALUMINIUM VENT.	0.60 X 0.60
RSH1 SHUTTER	2.60 X 2.45
RSH2 SHUTTER	3.78 X 2.71
J1 JALY	0.87 X 1.30
J2 JALY	1.20 X 1.30



GROUND FLOOR PLAN



BUILTUP AREA 3153 SQFT

BUILTUP AREA

SCHEDULE OF JOINERY		
TYPE	SIZE	DESCRIPTION
RG1	4.00X2.20	ROLLING SHUTTER
RG2	3.60X3.00	ROLLING SHUTTER
RG3	3.00X2.60	ROLLING SHUTTER
RG4	3.60X2.25	ROLLING SHUTTER
EDI	3.60X2.25	ENTRANCE DOOR
(ALU. GLASS DOOR WITH FIXED GLAZING ON BOTH SIDES)		
SCD	4.00X2.25	SMOKE CHECK DOOR
D2	1.50X2.25	T.W. PANNELLED DOOR
D3	1.20X2.25	(WIRED GLASS / DOUBLE GLASS)
D4	1.00X2.25	(DOUBLE SHUTTERS WITH VISION GLASS 6"x12")
D4A	0.80X2.25	T.W.BISON PANEL DOOR
D5	0.80X2.25	-DO-
D6	0.60X1.35	-DO-
WI	2.40X1.35	STEEL FRAMED GLASS SHUTTERS
WAI	2.40X0.90	-DO-
W2	2.40X1.35	STEEL GLASS SHUTTERS OPENABLE
W3	1.80X1.35	-DO-
W4	1.80X0.90	-DO-
W5	1.20X1.35	-DO-
VI	3.60X0.60	VENTILATOR (STEEL FRAMED WITH GLASS LOUVERS)
VIA	2.40X0.60	-DO-
V2	3.60X0.60	-DO-
V5	2.65X0.60	-DO-
V4	2.34X0.60	-DO-
V5	1.20X0.60	-DO-
FW	2.09X2.25	FRENCH WINDOW
O2	1.00X2.25	OPENING
O3	1.00X2.25	-DO-
O4	0.90X2.20	-DO-
FDI	1.20X2.25	FIRE PROOF DOOR
FD2	1.00X2.25	-DO-
J	0.74X2.25	RCC JALLI
EF	0.60 DIA.	EXHAUST FAN
W/FXD	2.40X2.55	STEEL FRAMED GLAZED WINDOW
CW	AS PER ELE.	CASEMENT WINDOW
W/FXI	2.40X3.75	STEEL WINDOW FIXED GLASS ABOVE
RG/EF/FX2	3.60X3.0	ROLLING GRILL
	0.60 DIA.	EXHAUST FAN
	3.60X1.80	FIXED GLASS
FX3	3.60X1.80	FIXED GLASS
FX4	3.60X3.0	FIXED GLASS
FX5	3.60X0.60	FIXED GLASS
FX6	3.60X2.40	FIXED GLASS
ERDI	1.60X1.80	ELECTRICAL RISER DOOR
ERD2	3.60X1.80	-DO-
WRDI	1.20X2.125	WET RISER DOOR
WRD2	1.60X2.125	-DO-



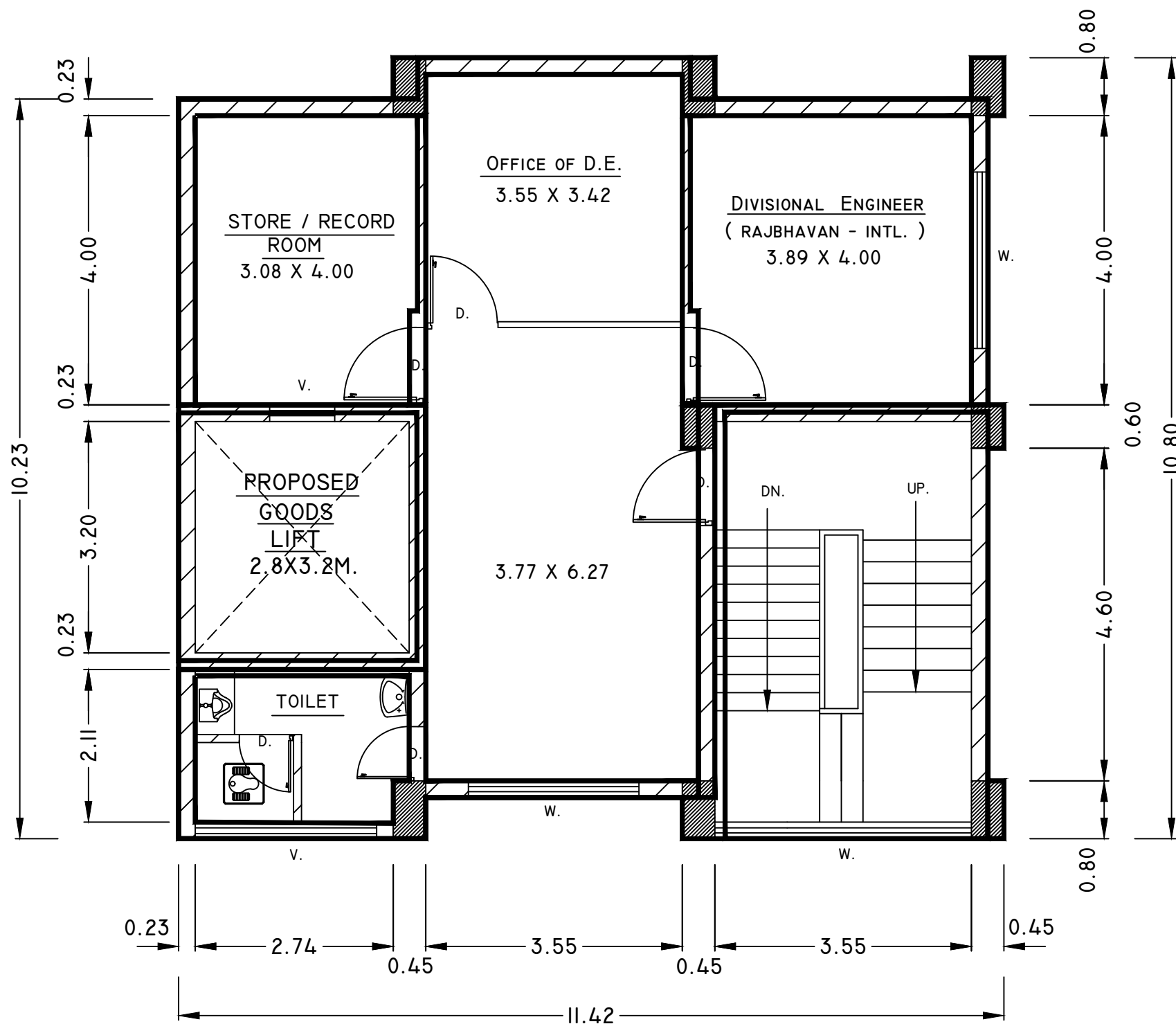
THIS DRG. IS PREPARED BASED ON 'SENIOR ARCHITECT'
DRG.NO.03/A.JOB NO.SAM 870 DATED JULY 1995.

BHARAT SANCHAR NIGAM LIMITED
CHENNAI TELEPHONES
BUILDING PLANNING

GROUND FLOOR PLAN OF RAJ BHAVAN TELEPHONE EXCHANGE

SCALE : 1:100 DRG.NO.RBN/03.

DRAWN S.D.E. A.G.M. AUGUST 2003.
CORRECTED AS ON



MAZANINE FLOOR PLAN



BUILTUP AREA 1266 SQFT

BHARAT SANCHAR NIGAM LIMITED
CHENNAI TELEPHONES
BUILDING PLANNING

MAZANINE FLOOR PLAN OF RAJ BHAVAN TELEPHONE EXCHANGE

SCALE : 1:100

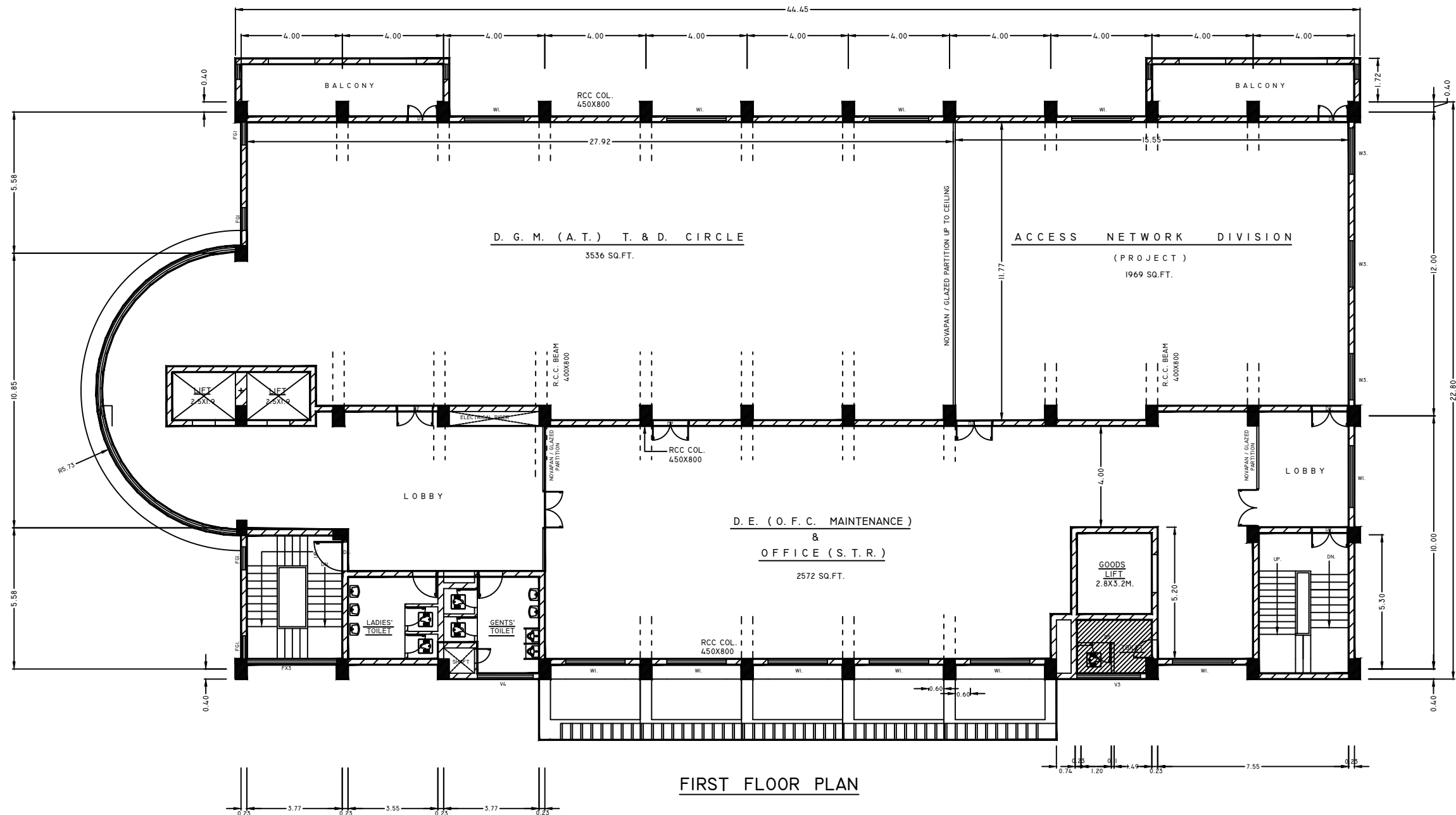
DRG.NO.RBN/03.

DRAWN

S.D.E.

A.G.M.

JUNE 2005.
CORRECTED AS ON



FIRST FLOOR PLAN

BUILTUP AREA 11762 SQFT

SCHEDULE OF JOINERY		
TYPE	SIZE	DESCRIPTION
RG1	4.00X2.20	ROLLING SHUTTER
RG2	3.60X3.00	ROLLING SHUTTER
RG3	3.00X2.60	ROLLING SHUTTER
RG4	3.60X2.25	ROLLING SHUTTER
EDI	3.60X2.25	ENTRANCE DOOR
(ALU. GLASS DOOR WITH FIXED GLAZING ON BOTH SIDES)		
SCD	4.00X2.25	SMOKE CHECK DOOR
(WIRED GLASS / DOUBLE GLASS)		
D2	1.50X2.25	T.W. PANNELLED DOOR
(DOUBLE SHUTTERS WITH VISION GLASS 6"x12")		
D3	1.20X2.25	T.W.BISON PANEL DOOR
D4	1.00X2.25	-DO-
D4A	0.80X2.25	-DO-
D5	0.80X2.25	-DO-
D6	0.60X1.35	-DO-
W1	2.40X1.35	STEEL FRAMED GLASS SHUTTERS
WAI	2.40X0.90	-DO-
W2	2.40X1.35	STEEL GLASS SHUTTERS OPENABLE
W3	1.80X1.35	-DO-
W4	1.80X0.90	-DO-
W5	1.20X1.35	-DO-
VI	3.60X0.60	VENTILATOR (STEEL FRAMED WITH GLASS LOUVERS)
VIA	2.40X0.60	-DO-
V2	3.60X0.60	-DO-
V3	2.65X0.60	-DO-
V4	2.34X0.60	-DO-
V5	1.20X0.60	-DO-
FW	2.09X2.25	FRENCH WINDOW
O2	1.00X2.25	OPENING
O3	1.00X2.25	-DO-
O4	0.90X2.20	-DO-
FD1	1.20X2.25	FIRE PROOF DOOR
FD2	1.00X2.25	-DO-
J	0.74X2.25	RCC JALLI
EF	0.60 DIA.	EXHAUST FAN
W/FXD	2.40X2.55	STEEL FRAMED GLAZED WINDOW
CW	AS PER ELE	CASEMENT WINDOW
W/FX1	2.40X3.75	STEEL WINDOW FIXED GLASS ABOVE
RG/EF/FX2	3.60X3.0	ROLLING GRILL
0.60 DIA.	EXHAUST FAN	
3.60X1.80	FIXED GLASS	
FX3	3.60X1.80	FIXED GLASS
FX4	3.60X3.0	FIXED GLASS
FX5	3.60X0.60	FIXED GLASS
FX6	3.60X2.40	FIXED GLASS
ERD1	1.60X1.80	ELECTRICAL RISER DOOR
ERD2	3.60X1.80	-DO-
WRD1	1.20X2.125	WET RISER DOOR
WRD2	1.60X2.125	-DO-



THIS DRG. IS PREPARED BASED ON 'SENIOR ARCHITECT'
DRG. NO.03/A.JOB NO.SAM 870 DATED JULY 1995.

BHARAT SANCHAR NIGAM LIMITED
CHENNAI TELEPHONES
BUILDING PLANNING

FIRST FLOOR PLAN OF RAJ BHAVAN TELEPHONE EXCHANGE

SCALE : 1:100

DRG.NO.RBN/04.

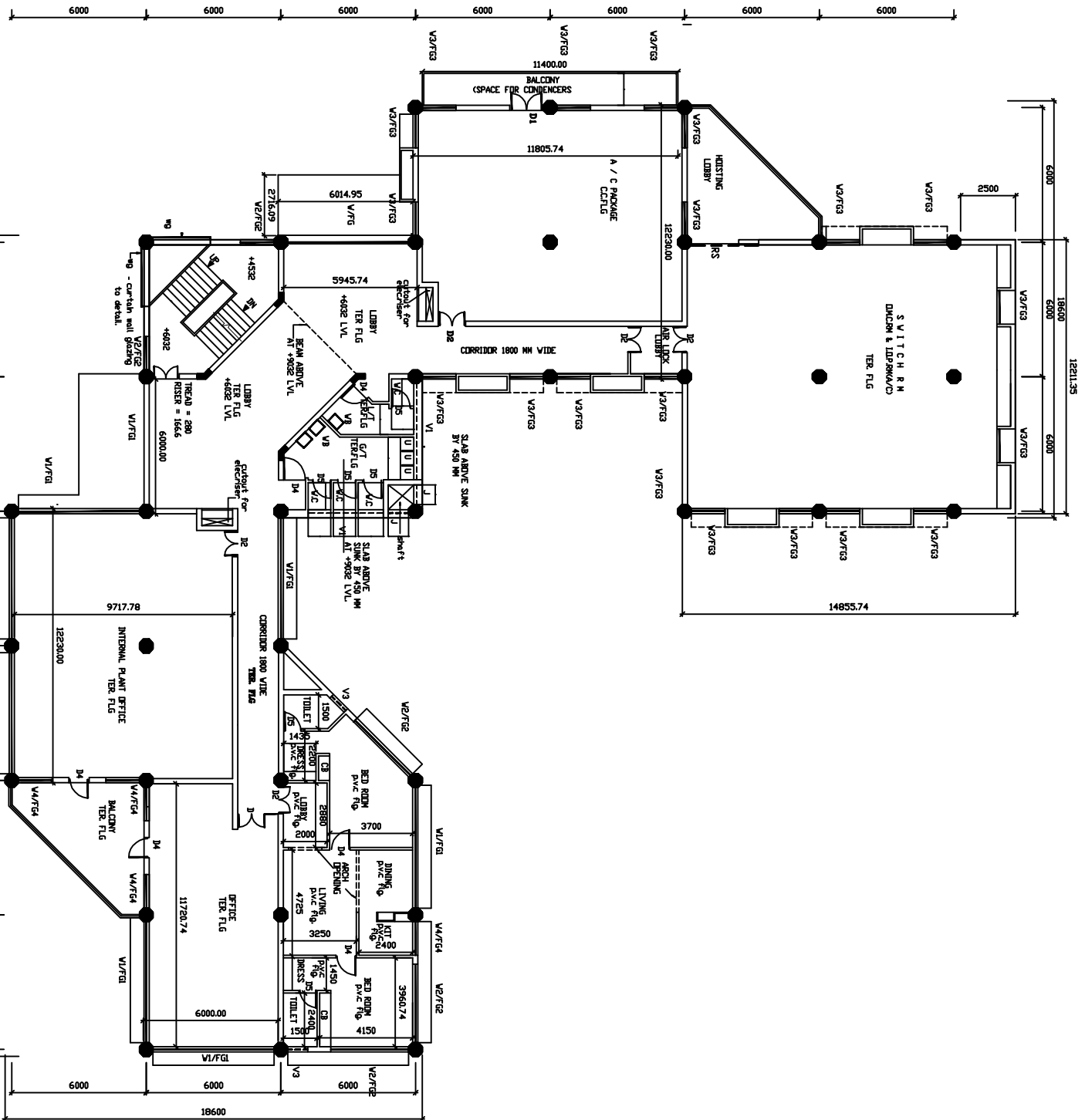
DRAWN

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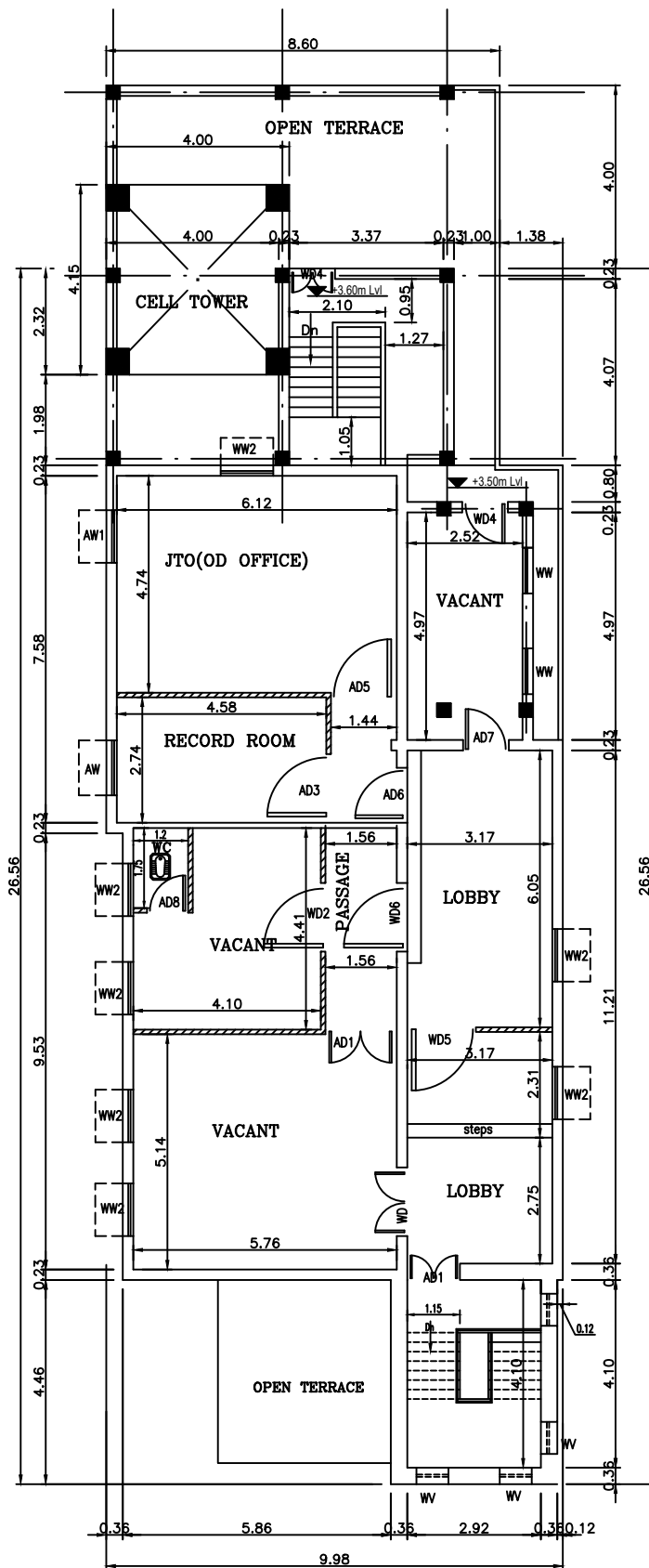
JUNE 2005.
CORRECTED AS ON

ARCHITECTURAL WING		
DEPARTMENT OF TELECOMMUNICATIONS.		
NOTES:-		
PLANT AREA = 780 SQM 8400 SFT		
CROSS REFERENCE:-		
1. LAYOUT PLAN	W/2/01	
2. ELEVATION FROM PLAN	W/2/02	
3. SECTION FROM PLAN	W/2/03	
4. FIRST FLOOR PLAN	W/2/04	
5. SECOND FLOOR PLAN	W/2/05	
6. THIRD FLOOR PLAN	W/2/06	
7. TYPICAL PLAN	W/2/07	
8. WEST & EAST ELEVATION	W/2/08	
9. SOUTH & NORTH ELEVATION	W/2/09	
10. SECTION X-X & Y-Y	W/2/10	
11. SCHEDULES OF OPENINGS	W/2/11	
12. JOINT DETAILS	W/2/12	
13. DETAILLED SPECIFICATION	W/2/13	
14. STANDARD DETAILS	W/2/14	
15. TYPICAL DETAILS	W/2/15	



FIRST FLOOR PLAN (+6032 LVL)

DATE	REVISIONS	DESCRIPTION
15/08/2018	1	ISSUED FOR PERMIT
15/08/2018	2	ISSUED FOR PERMIT
15/08/2018	3	ISSUED FOR PERMIT
15/08/2018	4	ISSUED FOR PERMIT
15/08/2018	5	ISSUED FOR PERMIT
15/08/2018	6	ISSUED FOR PERMIT
15/08/2018	7	ISSUED FOR PERMIT
15/08/2018	8	ISSUED FOR PERMIT
15/08/2018	9	ISSUED FOR PERMIT
15/08/2018	10	ISSUED FOR PERMIT
15/08/2018	11	ISSUED FOR PERMIT
15/08/2018	12	ISSUED FOR PERMIT
15/08/2018	13	ISSUED FOR PERMIT
15/08/2018	14	ISSUED FOR PERMIT
15/08/2018	15	ISSUED FOR PERMIT
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15/08/2018	94	ISSUED FOR PERMIT
15/08/2018	95	ISSUED FOR PERMIT
15/08/2018	96	ISSUED FOR PERMIT
15/08/2018	97	ISSUED FOR PERMIT
15/08/2018	98	ISSUED FOR PERMIT
15/08/2018	99	ISSUED FOR PERMIT
15/08/2018	100	ISSUED FOR PERMIT



FIRST FLOOR PLAN

JOINERY DETAILS:-

WD	WOODEN DOOR	1.50 X 2.45
WD1	WOODEN DOOR	1.20 X 2.25
WD2	WOODEN DOOR	1.15 X 2.45
WD3	WOODEN DOOR	0.95 X 2.45
WD4	WOODEN DOOR	1.00 X 2.25
WD5	WOODEN DOOR	1.00 X 2.10
AD	ALU. DOOR	1.65 X 2.45
AD1	ALU. DOOR	1.50 X 2.45
AD2	ALU. DOOR	1.15 X 2.45
AD3	ALU. DOOR	1.50 X 2.20
AD4	ALU. DOOR	1.25 X 2.20
AD5	ALU. DOOR	1.20 X 2.20
AD6	ALU. DOOR	1.00 X 2.20
AD7	ALU. DOOR	1.45 X 2.10
AD8	ALU. DOOR	0.90 X 2.10
PD	PVC DOOR	0.75 X 2.10
WW	WOODEN WINDOW	1.00 X 2.20
WW1	WOODEN WINDOW	1.55 X 1.65
WW2	WOODEN WINDOW	1.15 X 1.65
WW3	WOODEN WINDOW	1.25 X 1.45
WW4	WOODEN WINDOW	1.15 X 1.40
WW5	WOODEN WINDOW	1.00 X 1.40
WW6	WOODEN WINDOW	0.60 X 1.20
AW	ALU.WINDOW	1.20 X 1.45
AW1	ALU.WINDOW	1.15 X 1.45
WV	WOODEN VENTILATOR	0.70 X 0.45

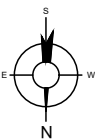
LEGEND:-

	ANG PARTITION 0.1m tk.
	BRICK WALL

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

ORIENTATION:



FIRST FLOOR :

AREA	SQ.M.
PLINTH AREA	200.73
CARPET AREA	171.48

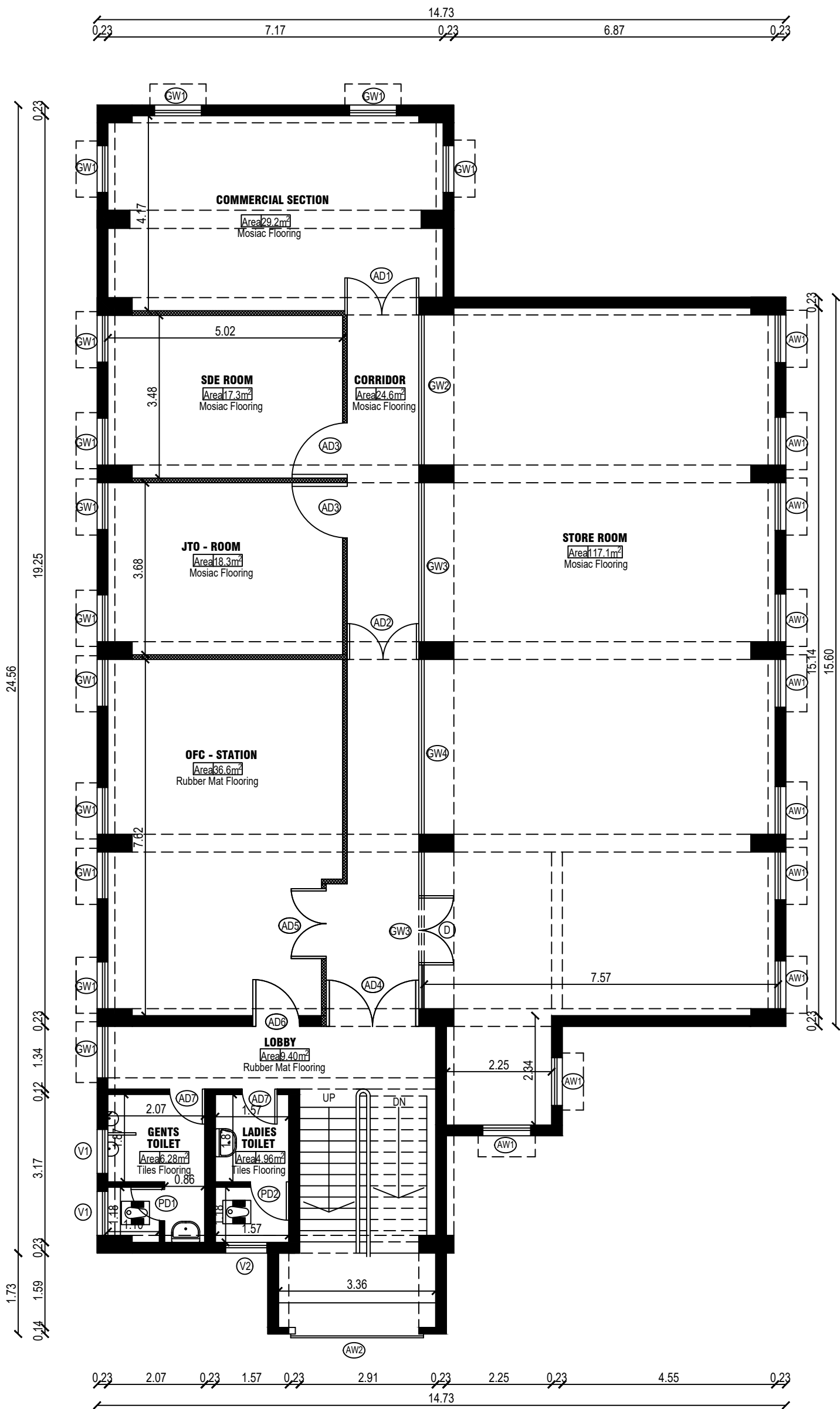
DRAWING
DESCRIPTION

FIRST FLOOR PLAN

SURVEYOR

ATHI-MITHUNA SURVEYS

7/2, SUBASH NAGAR, 200FEET RING ROAD,
KOLATHUR, CHENNAI - 600 099, INDIA.
PH: 044 2556 4800, 094442 09334.
e-mail: athi_mithuna@rediffmail.com
athimithuna@yahoo.co.in



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

AREA	SQ.M.
1.PLINTH AREA	310.00
2.CARPET AREA	264.00

JOINERY DETAILS:-

D	DOOR	1.48 X 2.13
AD1	ALUMINIUM DOOR	1.58 X 2.13
AD2	ALUMINIUM DOOR	1.53 X 2.13
AD3	ALUMINIUM DOOR	1.18 X 2.13
AD4	ALUMINIUM DOOR	1.98 X 2.13
AD5	ALUMINIUM DOOR	1.49 X 2.13
AD6	ALUMINIUM DOOR	1.00 X 2.13
AD7	ALUMINIUM DOOR	0.75 X 2.13
PD1	PLASTIC DOOR	0.72 X 2.04
PD2	PLASTIC DOOR	0.82 X 2.04
GW1	GRILL WINDOW	1.00 X 1.48
GW2	GRILL WINDOW	3.20 X 2.45
GW3	GRILL WINDOW	3.40 X 2.45
GW4	GRILL WINDOW	3.70 X 2.45
AW1	ALUMINIUM WINDOW	1.02 X 1.48
AW2	ALUMINIUM WINDOW	2.07 X 5.10
V1	VENTILATOR	0.94 X 0.61
V2	VENTILATOR	0.88 X 0.56

LEGEND:-

ALUMINIUM PARTITION

BRICK WALL

CEILING HEIGHT = 5.10M

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

REV	DATE	DESCRIPTION	DRN	CHK	APP
RO	28.03.05	FIRST ISSUE		MAAY	ILAI

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

SITE: BSNL @ MADHURANTHAGAM

DRAWING DESCRIPTION: FIRST FLOOR PLAN

REPORT STATUS: PRELIMINARY, SECONDARY, FINAL

DRAWING DETAILS: BOUNDARY, ANGLE, DIMENSION, GRID/COORD, TOPO DATA, CONTOUR, ROAD LVL, SPOT LVL, L-SECTION, C-SECTION

PROJECT CODE: 2005003, REVISION NO: 0

FILE NAME: BSNL-RGM\BLDG., SHEET NO: A4/04-03

SCALE: 1 : 75

ACTIVITY: SURVEYING, DRAFTING

EXECUTED BY: ILAIYARAJA, VIJAYAKUMAR

DATE STARTED: 12.03.2005, 16.03.2005

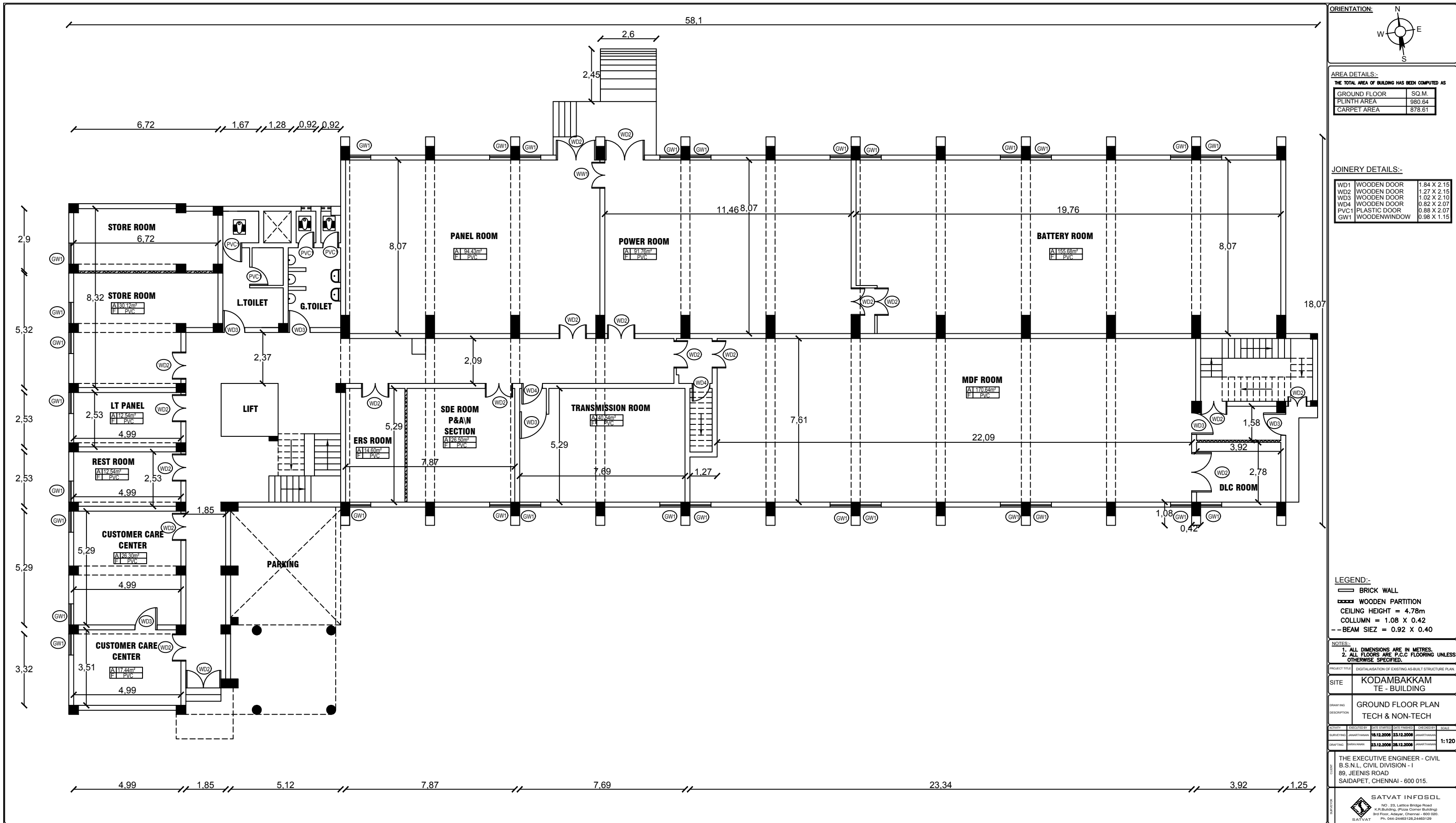
DATE FINISHED: 15.03.2005, 17.03.2005

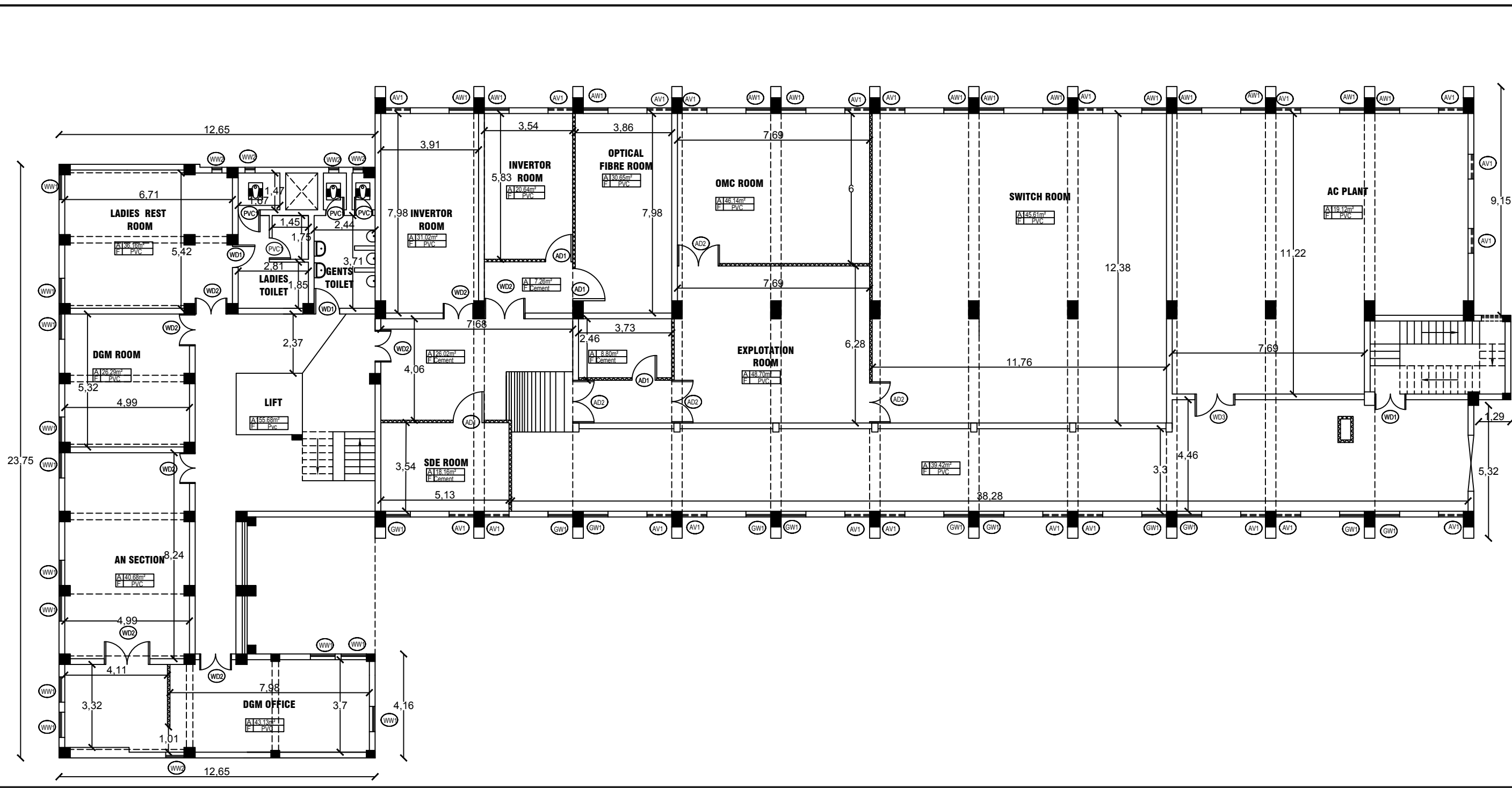
CHECKED BY: ILAIYAAH

APPROVED BY: ---

CLIENT: THE EXECUTIVE ENGINEER, BSNL, CIVIL DIVISION, RAJIV GANDHI MEMORIAL TELECOM TRAINING CENTER, MEENAMBARKKAM, CHENNAI - 600 008.

SURVEYOR: SATVAT INFOSOL, NO. 23, Lattice Bridge Road, K.R. Building, (Pizza Corner Building), 3rd Floor, Adayar, Chennai - 600 020. Ph. 044-24463128, 24463129.





ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

	SQ.M.
THIRD FLOOR	1005.33
PLINTH AREA	977.06
CARPET AREA	977.06

JOINERY DETAILS:-

WD1	WOODEN DOOR	1.27 X 2.15
WD2	WOODEN DOOR	0.90 X 2.10
WD3	WOODEN DOOR	1.60 X 2.15
PVC1	PLASTIC DOOR	0.88 X 2.07
AD1	ALUMINUM DOOR	1.29 X 2.15
AD2	ALUMINUM DOOR	1.65 X 2.17
WW1	WOODEN WINDOW	1.01 X 1.20
WW2	WOODEN WINDOW	0.73 X 1.15
WW1	WOODEN VENT	0.99 X 0.60

LEGEND:-

- BRICK WALL
- WOODEN PARTITION
- ALUMINUM PARTITION
- CEILING HEIGHT = 4.78m
- COLUMN = 1.08 X 0.42
- BEAM SIEZ = 0.92 X 0.40

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

2. ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE

DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN

SITE

KODAMBAKKAM
TE - BUILDING

DRAWING DESCRIPTION

THIRD FLOOR (NON-TECH)
SECOND FLOOR - (TECH)

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	JANARTHANAN	18.12.2006	23.12.2006	JANARTHANAN	
DRAFTING	SARAVANAN	23.12.2006	28.12.2006	JANARTHANAN	1:120

THE EXECUTIVE ENGINEER - CIVIL

B.S.N.L, CIVIL DIVISION - I

89, JEENIS ROAD

SAIDAPET, CHENNAI - 600 015.

SATVAT INFOSOL

NO. 23, Lattice Bridge Road

K.R. Building, (Pine Corner Building)

3rd Floor, Adayar, Chennai - 600 020.

Ph. 044-24685128, 24468129



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

AREA	SQ.M.
1. PLINTH AREA	949
2. CARPET AREA	874.9

JOINERY DETAILS:-

D1	WOODENDOOR	0.90 X 2.13
D2	WOODENDOOR	1.60 X 2.13
PD1	PELASTIC DOOR	0.70 X 2.13
AD1	ALUMINUM DOOR	1.50 X 2.13
AD2	ALUMINUM DOOR	1.60 X 2.13
AD3	ALUMINUM DOOR	2.00 X 2.13
AD4	ALUMINUM DOOR	1.00 X 2.13
AD5	ALUMINUM DOOR	1.20 X 2.13
W1	GRILL WINDOW	1.80 X 1.50
W2	GRILL WINDOW	3.35 X 1.50
W3	GRILL WINDOW	1.60 X 1.50
W4	GRILL WINDOW	0.65 X 1.50
V1	VENTILATOR	0.60 X 0.23
V2	VENTILATOR	1.20 X 0.23

LEGEND:-

ALUMINUM PARTITION

BRICK WALL

CEILING HEIGHT = 4.50M

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

NO	DATE	DESCRIPTION	BY	CHK	APP
1	20.03.2005	FIRST ISSUE	MAH	LA	---

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

SITE: BSNL @ KANCHIPURAM-NEW

DRAWING DESCRIPTION

SECOND FLOOR PLAN

REPORT STATUS: ☒ PRELIMINARY ☐ SECONDARY ☐ FINAL

DRAWING DETAILS: ☒ FLOOR PLAN ☐ SECTION ☐ ELEVATION ☐ DETAIL ☐ ROOF PLAN ☐ SPOT LVL ☐ L-SECTION ☐ C-SECTION

PROJECT CODE: 2005002 REVISION NO: 0

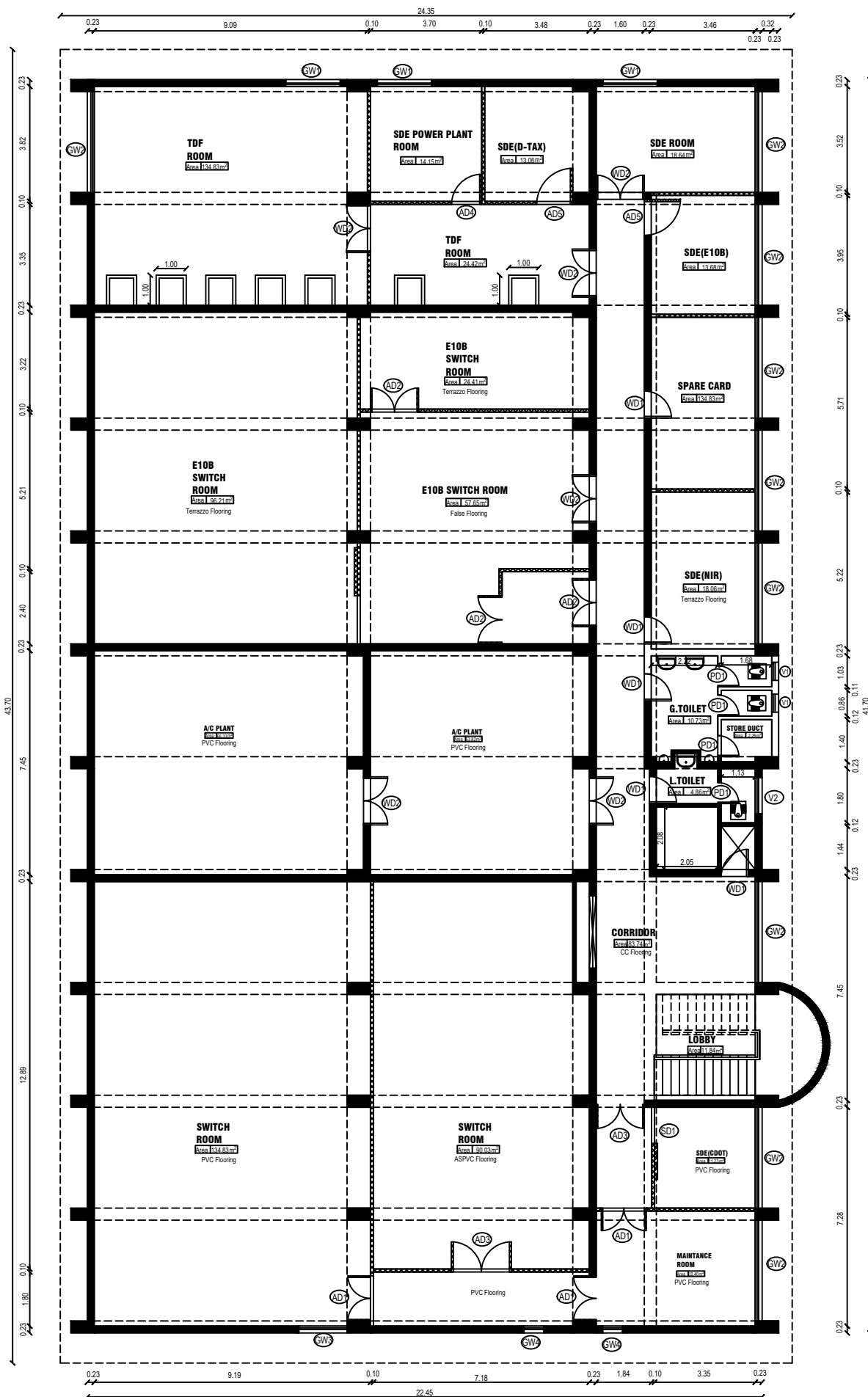
FILE NAME: KANCHIPURAM NEW SHEET NO: A2/03-01

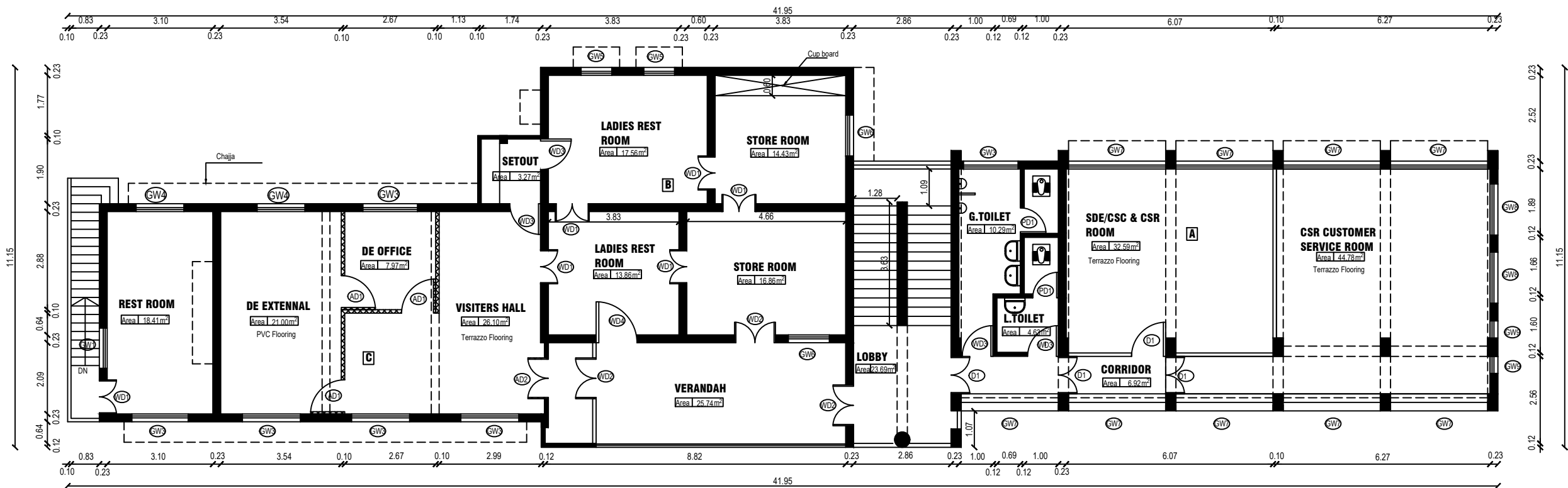
SCALE: 1 : 100

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	APPROVED BY
SURVEYING	ILAYARAJA	18.03.2005	19.03.2005	ILAYAH	---
DRAFTING	MAYINAM	21.03.2005	23.03.2005	ILAYAH	---

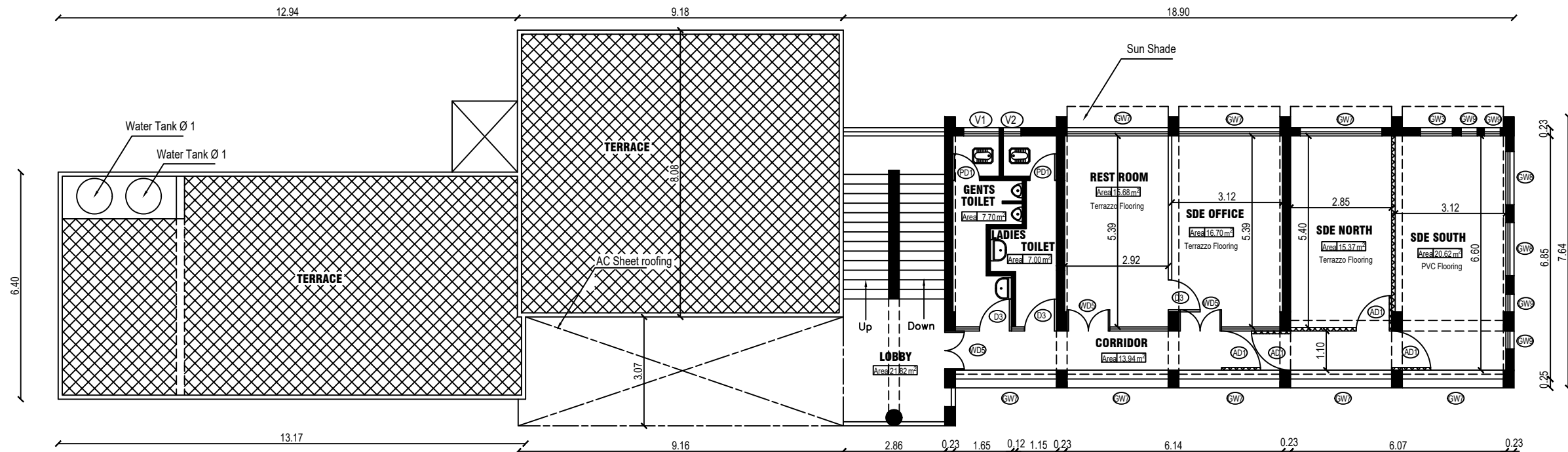
CLIENT: GENERAL MANAGER
BSNL, CHENGALPET SSA,
No.115, EGMORE HIGH ROAD,
CHENNAI - 600 008.

SUPERVISOR: **SATVAT INFOSOL**
NO. 23, Lattice Bridge Road
K.R. Building, (Pizza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128, 24463129



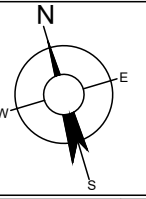


FIRST FLOOR PLAN



SECOND FLOOR PLAN

ORIENTATION:



AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

AREA	SQ.M.
FIRST FLOOR	331.31
CARPET AREA	287.00
SECOND FLOOR	331.31
CARPET AREA	119.24

JOINERY DETAILS:-

NO	DESCRIPTION	SIZE
D	WOODEN DOOR	2.85 X 2.13
D1	WOODEN DOOR	1.20 X 2.13
D2	WOODEN DOOR	1.20 X 2.13
D3	WOODEN DOOR	0.90 X 2.13
D4	WOODEN DOOR	1.18 X 2.13
D5	WOODEN DOOR	1.10 X 2.13
D6	WOODEN DOOR	0.75 X 2.13
AD1	ALUMINUM DOOR	1.20 X 2.13
AD2	ALUMINUM DOOR	1.20 X 2.13
OW1	GRILL WINDOW	1.18 X 1.50
OW2	GRILL WINDOW	1.20 X 1.50
OW3	GRILL WINDOW	1.40 X 1.50
OW4	GRILL WINDOW	0.90 X 1.50
OW5	GRILL WINDOW	1.20 X 1.50
OW6	GRILL WINDOW	2.85 X 0.75
OW7	GRILL WINDOW	1.20 X 0.50
V1	VENTILATOR	1.80 X 1.50
V2	VENTILATOR	0.50 X 1.50

LEGEND:-

- ALUMINUM PARTITION
- WOODEN PARTITION
- BRICK WALL

CEILING HEIGHT - "A" = 4.15 M
CEILING HEIGHT - "B" = 3.00 M
CEILING HEIGHT - "C" = 4.23 M
CEILING HEIGHT = 3.42 M

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

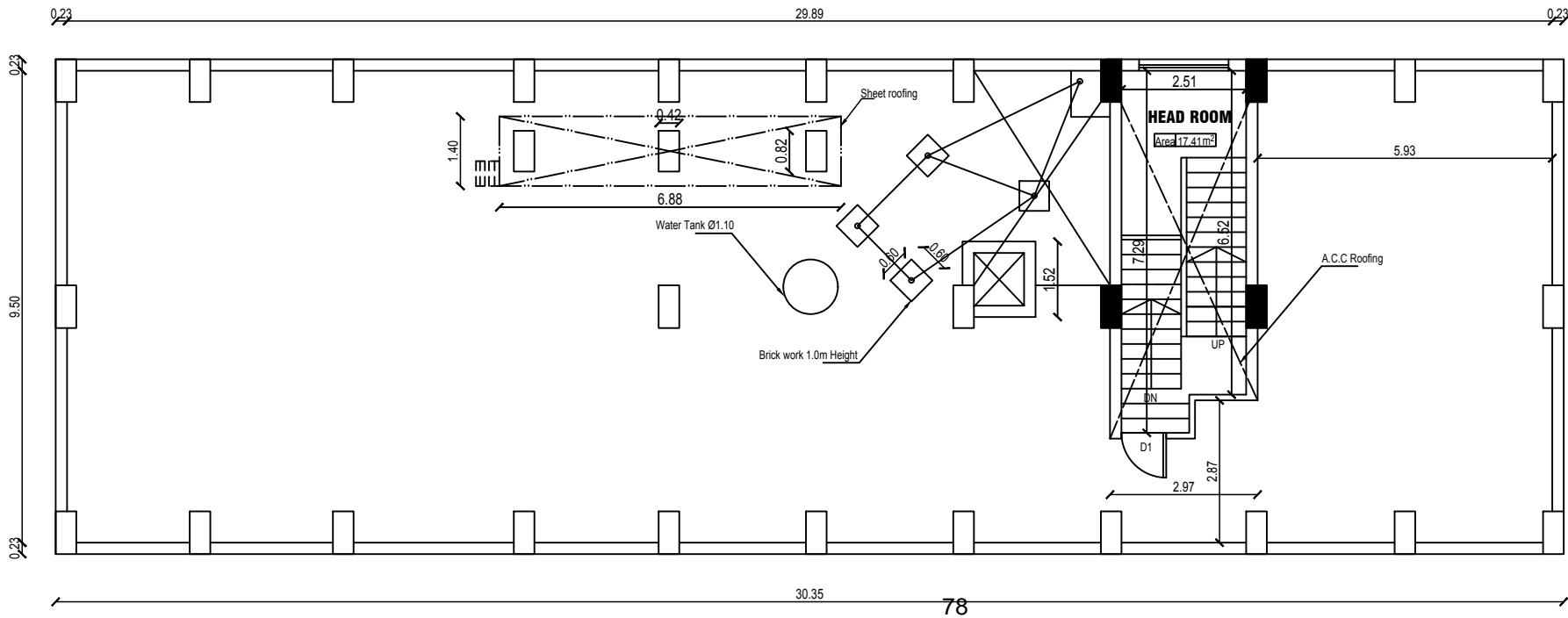
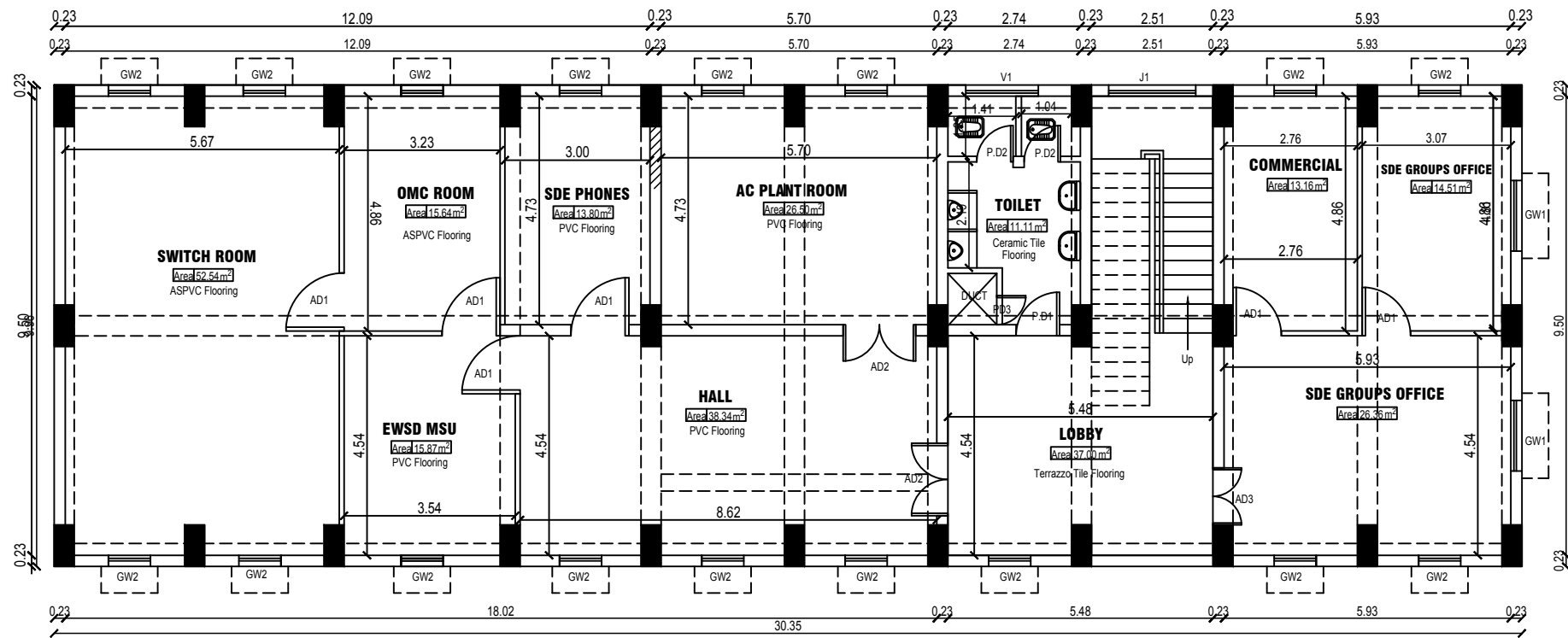
NO	DATE	DESCRIPTION	BY	CHK	APP
RO	05.04.2005	FIRST ISSUE	WJAY	ILAI	---
REV	DATE	DESCRIPTION	BY	CHK	APP
PROJECT TITLE	DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN				
SITE	BSNL @ KANCHIPURAM - OLD				

DRAWING DESCRIPTION	REPORT STATUS	DRAWING DETAILS	PROJECT CODE	REVISION NO
FIRST & SECOND FLOOR PLAN	● PRELIMINARY ● SECONDARY ● FINAL	BOUNDARY ANGLE DIMENSION GRID/COORD TOPO DATA CONTOUR ROAD L/A SPOT L/A L-SECTION C-SECTION	2005002	0
			FILE NAME	SHEET NO
			KANCHIPURAM OLD	A6/03-02

SCALE
1 : 100

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	APPROVED BY
SURVEYING	ILAIYARAJA	22.03.2005	24.03.2005	ILAIYAAH	---
DRAFTING	WJAYAKUMAR	25.03.2005	28.03.2005	ILAIYAAH	---

CLIENT	GENERAL MANAGER BSNL, CHENGALPET SSA, No.110, EGMORE HIGH ROAD, CHENNAI - 600 008.
SURVEYOR	SATVAT INFOSOL NO - 23, Lattice Bridge Road K.R. Building, (Pizza Corner Building) 3rd Floor, Adayar, Chennai - 600 020. Ph. 044-24463128, 24463129



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

AREA	SQ.M.
FIRST FLOOR	
1. PLINTH AREA	302.28
2. CARPET AREA	285.30
TERRACE FLOOR	
1. PLINTH AREA	302.28
2. CARPET AREA	17.41

JOINERY DETAILS:-

ITEM	DESCRIPTION	QTY
D1	WOODEN DOOR	1.20 X 2.13
D2	WOODEN DOOR	0.90 X 2.10
D3	WOODEN DOOR	0.75 X 2.10
AD1	ALUMINUM DOOR	1.00 X 2.13
AD2	ALUMINUM DOOR	1.60 X 2.13
AD3	ALUMINUM DOOR	1.20 X 2.10
PD1	PLASTIC DOOR	0.90 X 2.10
PD2	PLASTIC DOOR	0.75 X 2.10
PD3	PLASTIC DOOR	0.60 X 2.10
GW1	GRILL WINDOW	1.50 X 1.20
GW2	GRILL WINDOW	0.90 X 1.20
V1	VENTILATOR	1.60 X 1.20
V1	VENTILATOR	0.90 X 0.90

LEGEND:-

--- ASBESTOS ROOF LINE

--- ALUMINUM PARTITION

--- BRICK WALL

CEILING HEIGHT = 4.04M

NOTES:-

- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

NO	DATE	REV	DESCRIPTION	BY	CHK	APP
01	05.04.2005		FIRST ISSUE	MANI LAL		

PROJECT TITLE

DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

SITE

BSNL @ SRIPERUMBADUR

DRAWING DESCRIPTION

FIRST & TERRACE FLOOR PLAN

REPORT STATUS	DRAWING DETAILS	PROJECT CODE	REVISION NO.
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SCALE

1 : 75

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	APPROVED BY
SURVEYING	LAIYARAJA	14.02.2005	18.02.2005	LAIYAH	---
DRAFTING	MANIYAR	17.02.2005	18.02.05	LAIYAH	---

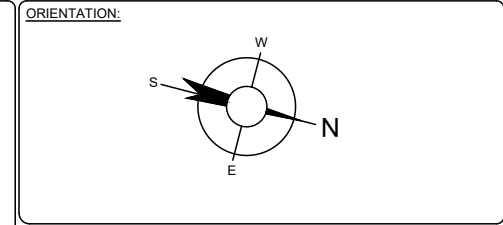
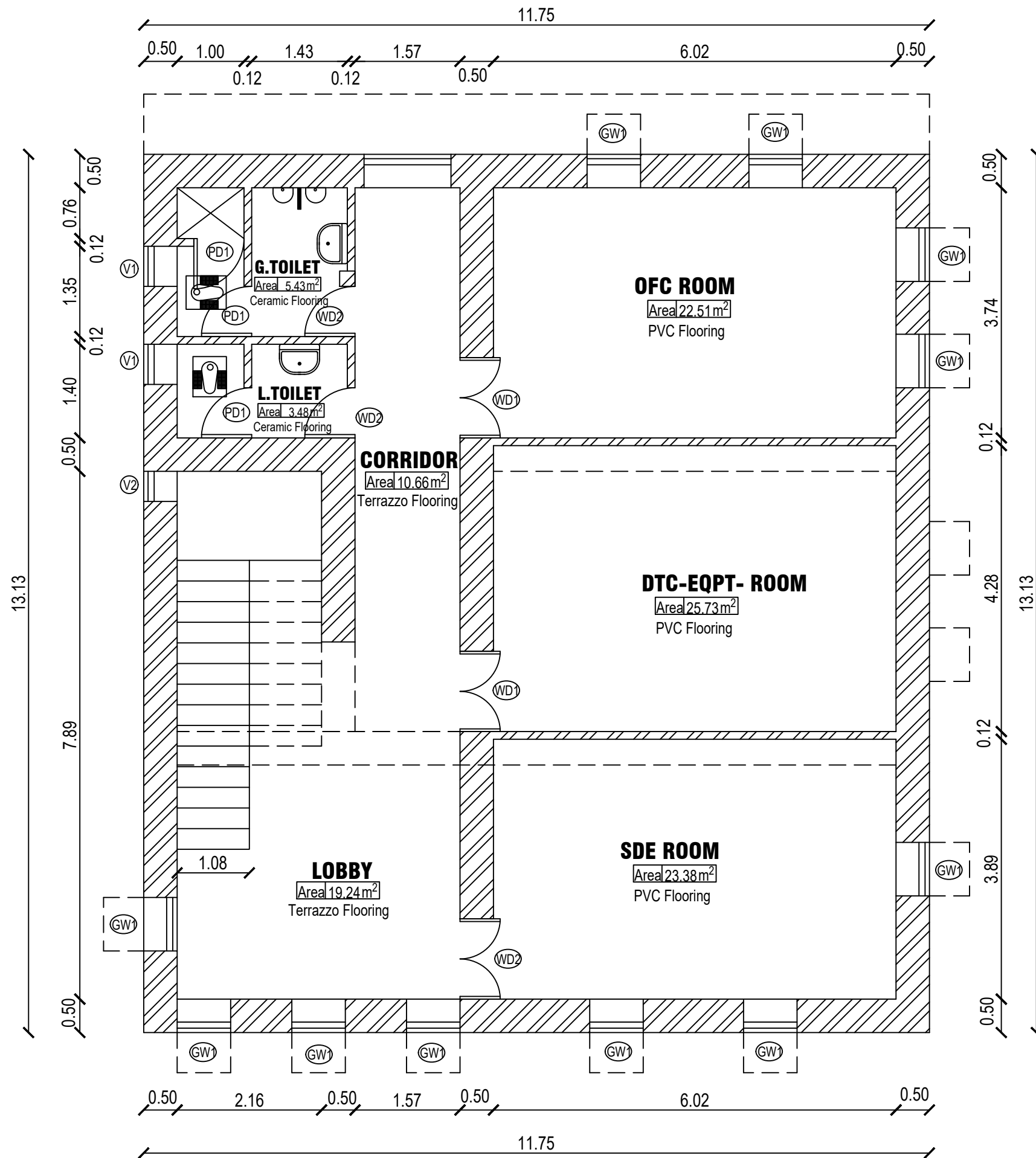
CLIENT

GENERAL MANAGER
BSNL, CHENGALPET SSA,
NO.15, EGMORE HIGH ROAD,
CHENNAI - 600 008.

SURVEYOR

SATVAT INFOSOL

NO. 23, Lattice Bridge Road
K.R. Building, (Pizza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128, 24463129



AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

AREA	SQ.M.
1.PLINTH AREA	154.27
2.CARPET AREA	110.43

JOINERY DETAILS:-

NO	DESCRIPTION	SIZE
MD	MAIN DOOR	1.20 X 2.13
WD1	WOODENDOOR	1.20 X 2.13
WD2	WOODENDOOR	0.75 X 2.13
PD1	PELASTIC DOOR	0.75 X 2.13
GW1	GRILL WINDOW	0.80 X 0.23
V1	VENTILATOR	0.60 X 0.23
V2	VENTILATOR	0.45 X 0.23

LEGEND:-

	WALL HATCH
--	------------

- NOTES:-
- ALL DIMENSIONS ARE IN METRES.
 - ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

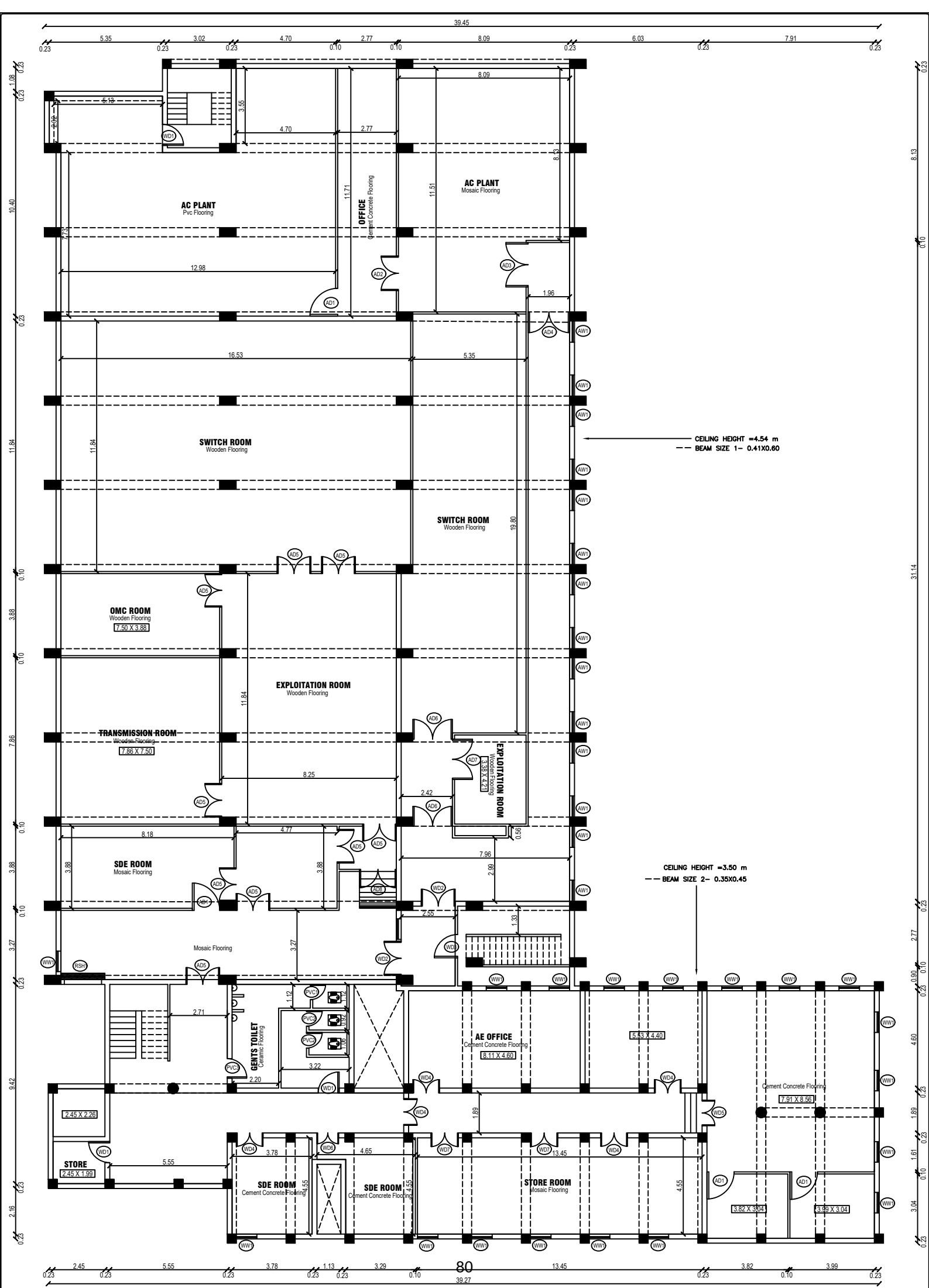
REV	DATE	DESCRIPTION	BY	CHK	APP
R0	10.05.2005	FIRST ISSUE	MAYIL	---	---
REV	DATE	DESCRIPTION	BY	CHK	APP
PROJECT TITLE			DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.		
SITE			BSNL @ THIRUTHANI		
DRAWING DESCRIPTION			SECOND FLOOR PLAN		
REPORT STATUS		DRAWING DETAILS		PROJECT CODE	REVISION NO.
PRELIMINARY SECONDARY FINAL	BOUNDARY	ANGLE	DIMENSION	GRIDCOORD	TOPO L&H
	CONTOUR	ROAD L&H	SPOT L&H	L-SECTION	C-SECTION
SCALE		0 1 2 3 4 5 6 7 8 9 10			
1 : 50					
ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	APPROVED BY
SURVEYING	ILAIYARAJA	23.04.2005	28.04.2005	ILAIYAAH	---
DRAFTING	MAYAKUMAR	29.04.2005	29.04.2005	ILAIYAAH	---

CLIENT

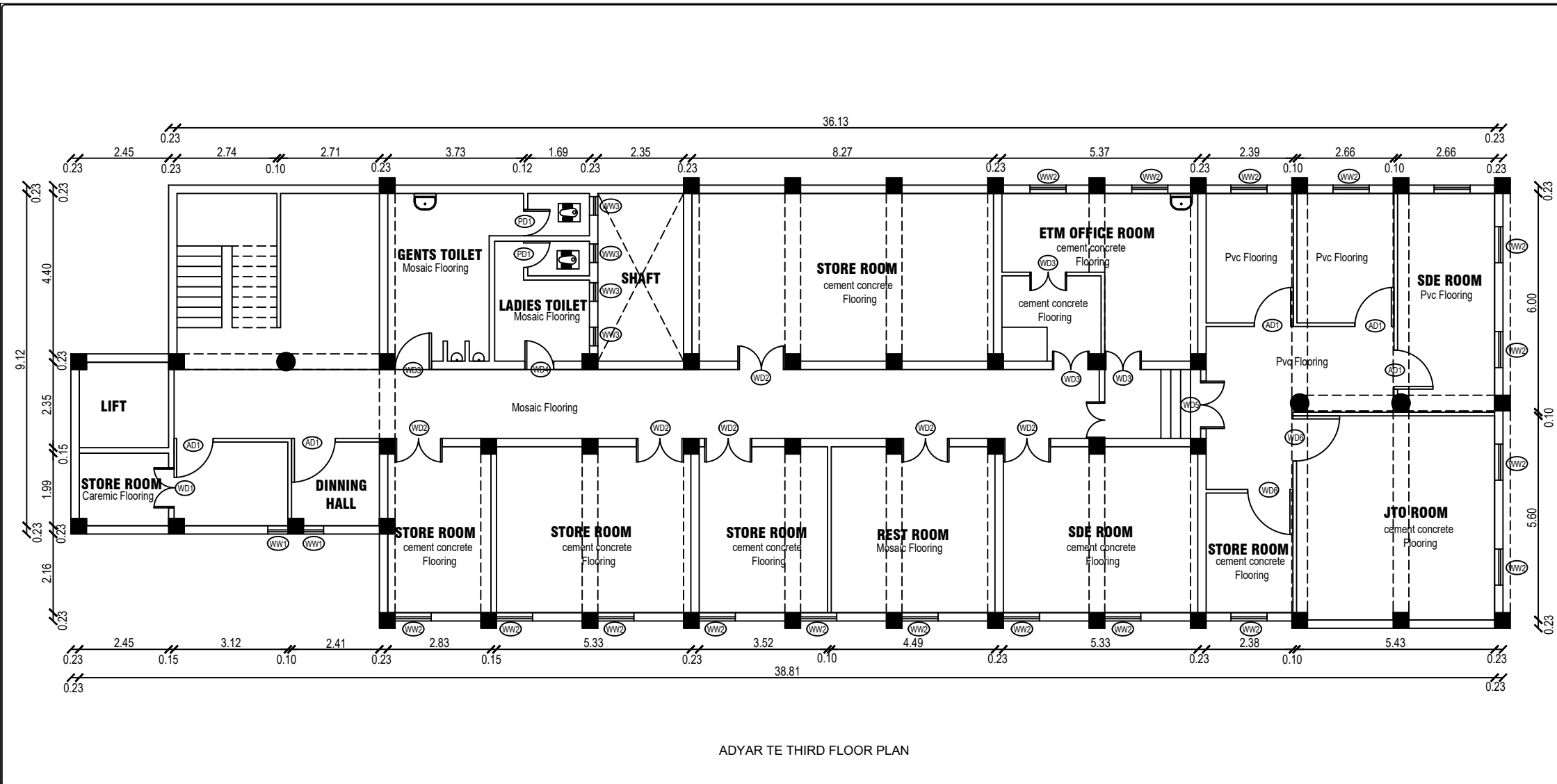
GENERAL MANAGER
BSNL, CHENGALPET SSA,
No.110, EGMORE HIGH ROAD,
CHENNAI - 600 026.

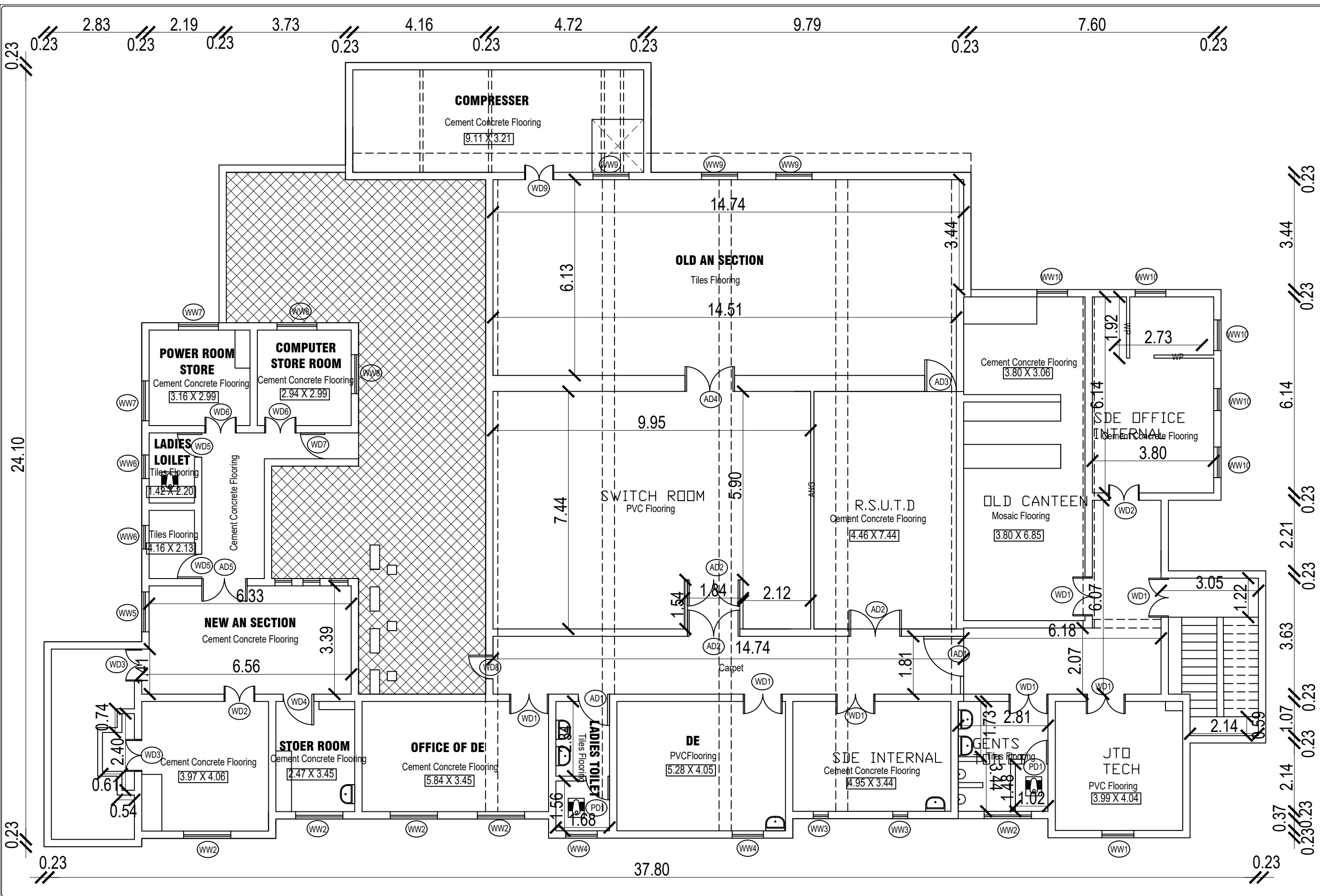
SURVEYOR

SATVAT INFOSOL
NO . 23, Lattice Bridge Road
K.R.Building, (Pizza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128,24463129



ADYAR TE SECOND FLOOR PLAN





ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

FIRST FLOOR	SQ.M.
PLINTH AREA	613.99
CARPET AREA	510.87

JOINERY DETAILS:-

NO.	DESCRIPTION	SIZE
AD1	ALUMINUM DOOR	1.25 X 2.48
AD2	ALUMINUM DOOR	1.64 X 2.48
AD3	ALUMINUM DOOR	.099 X 2.40
AD4	ALUMINUM DOOR	1.55 X 2.48
AD5	ALUMINUM DOOR	1.42 X 1.99
WD1	WOODEN DOOR	1.22 X 2.48
WD2	WOODEN DOOR	0.96 X 2.48
WD3	WOODEN DOOR	1.00 X 2.48
WD4	WOODEN DOOR	0.96 X 2.00
WD5	WOODEN DOOR	0.76 X 2.12
WD6	WOODEN DOOR	0.98 X 2.48
WD7	WOODEN DOOR	0.81 X 2.03
WD8	WOODEN DOOR	0.74 X 1.93
WD9	WOODEN DOOR	0.91 X 2.16
PD1	PLASTIC DOOR	0.74 X 1.99
WW1	WOODEN WINDOW	1.00 X 1.48
WW2	WOODEN WINDOW	1.48 X 1.48
WW3	WOODEN WINDOW	0.47 X 1.48
WW4	WOODEN WINDOW	0.98 X 1.48
WW5	WOODEN WINDOW	1.25 X 1.23
WW6	WOODEN WINDOW	0.74 X 1.25
WW7	WOODEN WINDOW	1.25 X 1.48
WW8	WOODEN WINDOW	1.25 X 1.25
WW9	WOODEN WINDOW	1.13 X 1.45
WW10	WOODEN WINDOW	0.96 X 1.45

LEGEND:-

- BRICK WALL
- ALUMINUM PARTITION
- CEILING HEIGHT = 4.74m

NOTES:-

- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

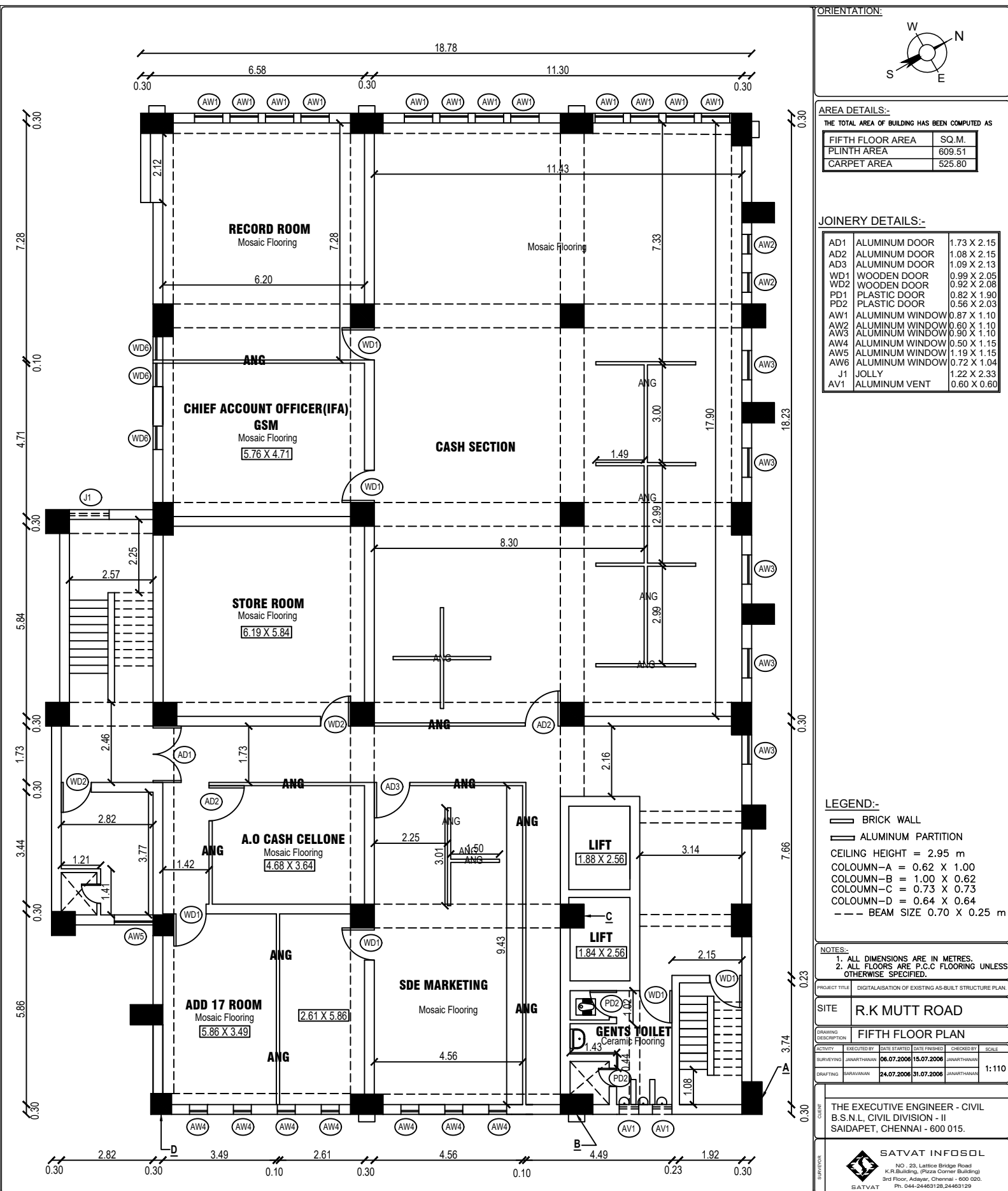
SITE: MYLAPORE

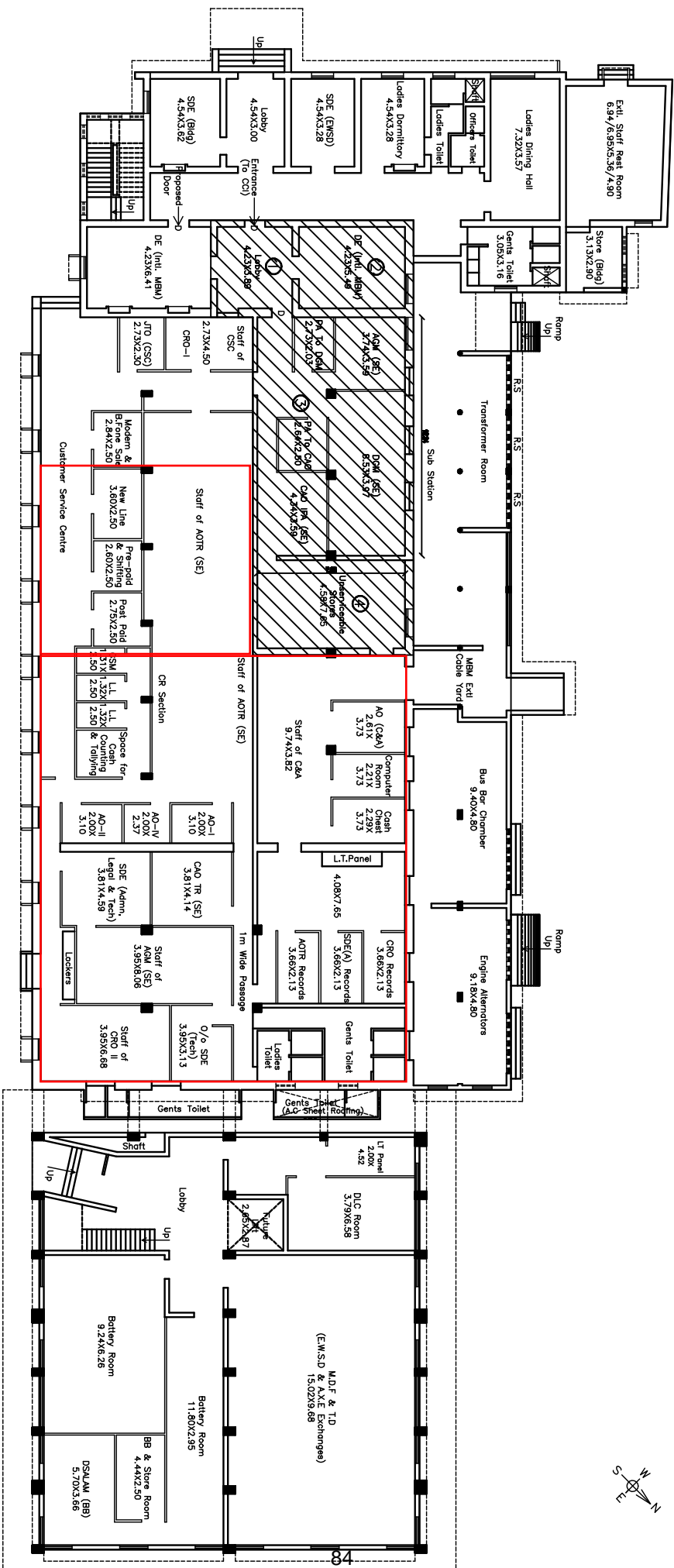
DRAWING DESCRIPTION: FIRST FLOOR

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	KARTHIK	08.06.2006	09.06.2006	JANARTHANAN	1:120
DRAFTING	SARAVANAN	10.06.2006	15.06.2006	JANARTHANAN	

CLIENT: THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L, CIVIL DIVISION - II
SAIDAPET, CHENNAI - 600 015.

SURVEYOR: SATVAT INFOSOL
NO. 23, Lattice Bridge Road
K.R. Building, (Pizza Corner Building)
3rd Floor, Adyar, Chennai - 600 020.
Ph. 044-24463128, 24463129





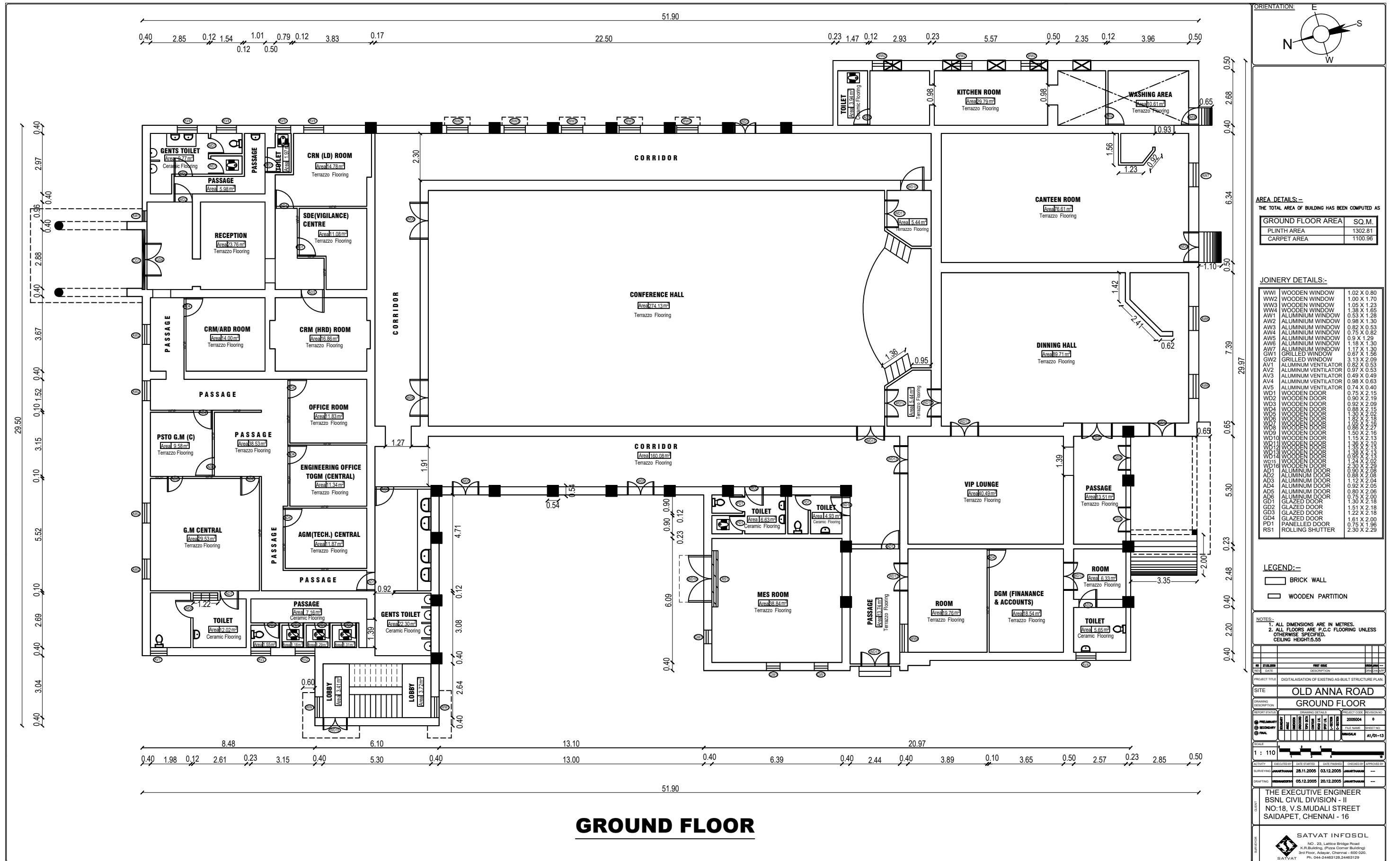
Proposed area to be rented out

PLINTH AREA = 1372.84 Sqm

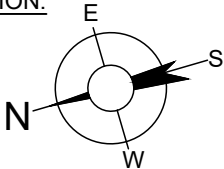
PUNTH AREA = 428.76 Sqm

GROUND FLOOR PLAN OF MAMBALAM TELEPHONE EXCHANGE, CHENNAI

All dimensions are in metre only
Scale=N.T.S



ORIENTATION:-



AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

EIGHTH FLOOR	SQ.M.
PLINTH AREA	792.24
CARPET AREA	611.65

JOINERY DETAILS:-

WD1	WOODEN DOOR	0.75 X 1.96
WD2	WOODEN DOOR	0.76 X 2.08
WD3	WOODEN DOOR	0.51 X 2.09
WD4	WOODEN DOOR	0.70 X 1.97
WD5	WOODEN DOOR	0.85 X 2.05
WD6	WOODEN DOOR	1.23 X 2.29
WD7	WOODEN DOOR	0.98 X 2.08
WD8	WOODEN DOOR	1.06 X 2.08
WD9	WOODEN DOOR	0.95 X 2.05
WD10	WOODEN DOOR	1.00 X 2.02
WD11	WOODEN DOOR	0.90 X 2.06
WD12	WOODEN DOOR	0.75 X 2.01
WD13	WOODEN DOOR	0.77 X 2.10
AD1	ALUMINUM DOOR	0.73 X 2.33
AD2	ALUMINUM DOOR	1.20 X 2.21
AD3	ALUMINUM DOOR	1.08 X 2.21
AD4	ALUMINUM DOOR	1.04 X 2.18
AD5	ALUMINUM DOOR	1.55 X 2.18
AD6	ALUMINUM DOOR	1.00 X 2.13
AD7	ALUMINUM DOOR	1.05X 2.18
AD8	ALUMINUM DOOR	1.15 X 2.18
AD9	ALUMINUM DOOR	0.77 X 2.05
AD10	ALUMINUM DOOR	0.98 X 1.98
AD11	ALUMINUM DOOR	0.94 X 2.06
AD12	ALUMINUM DOOR	1.23 X 2.28
PD1	PLASTICDOOR	0.71 X 2.04
AW1	ALUMINUM WINDOW	0.37 X 1.30
AW2	ALUMINUM WINDOW	1.70 X 1.31
AW3	ALUMINUM WINDOW	1.00 X 1.19
AW4	ALUMINUM WINDOW	0.52 X 1.26
AW5	ALUMINUM WINDOW	0.76 X 1.29
AW6	ALUMINUM WINDOW	1.80 X 1.27
AW7	ALUMINUM WINDOW	1.82 X 1.30
AW8	ALUMINUM WINDOW	0.39 X 1.29
AW9	ALUMINUM WINDOW	1.12 X 0.99
AW10	ALUMINUM WINDOW	1.20 X 1.28
CG1	COLLAPSIBLE GATE	1.71 X 2.28
CG2	COLLAPSIBLE GATE	2.24 X 2.27
J1	JOLLY	0.79
J2	JOLLY	1.43
J3	JOLLY	0.83
J4	JOLLY	2.24
J5	JOLLY	3.50

LEGEND:-

	BRICK WALL
	ALUMINUM PARTITION

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.
2. ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.
3. CIELING HEIGHT = 3.48M

NO	27.02.2008	FIRST ISSUE	KRISHNA
REV	DATE	DESCRIPTION	DRN/CHK/APP

PROJECT TITLE DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

SITE TE BUILDING ANNA ROAD

DRAWING DESCRIPTION EIGHTH FLOOR PLAN

REPORT STATUS	DRAWING DETAILS	PROJECT CODE	REVISION NO
<input checked="" type="radio"/> PRELIMINARY	<input type="radio"/> BOUNDARY	2005004	0
<input checked="" type="radio"/> SECONDARY	<input type="radio"/> ANGLE	FILE NAME	SHEET NO
<input checked="" type="radio"/> FINAL	<input type="radio"/> DIMENSION	ANNASALAI	A1/01-11
	<input type="radio"/> GROUND		
	<input type="radio"/> TOPO DATA		
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	<input type="radio"/> C-SECTION		

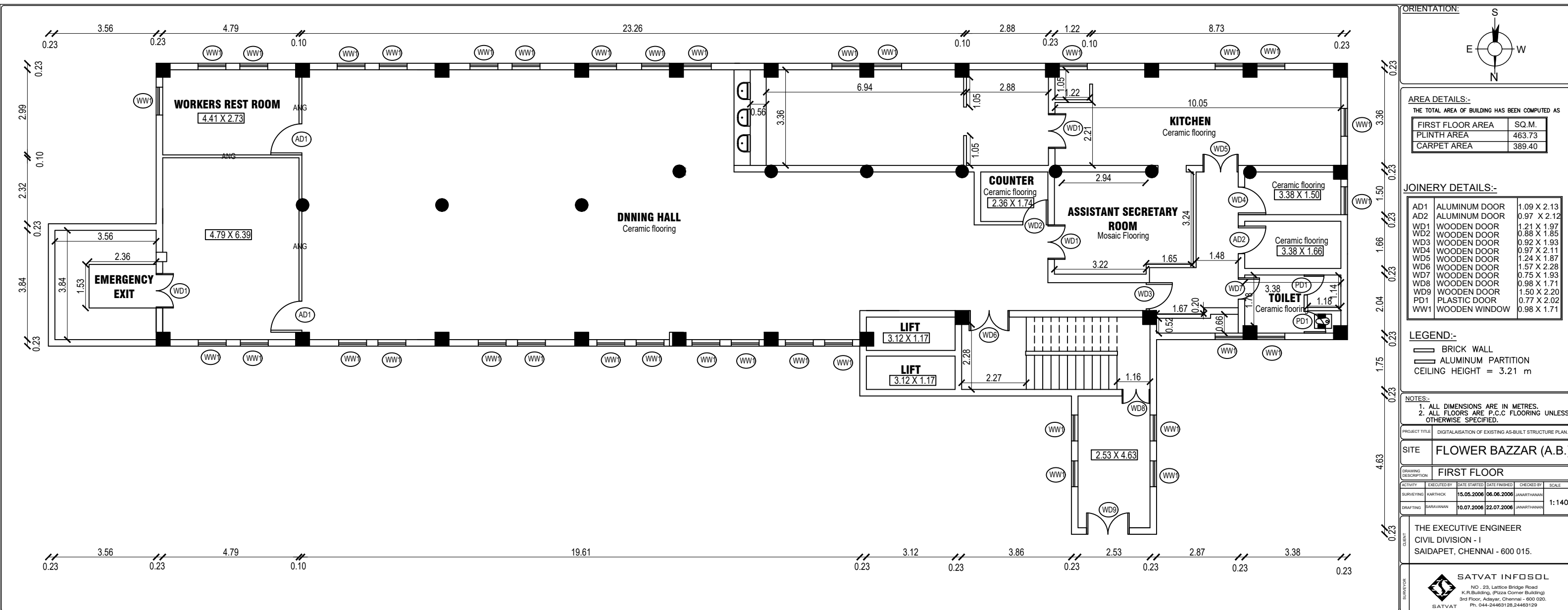
SCALE	0 2 4 6 8 10
1 : 100	

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	APPROVED BY
SURVEYING	JANARTHANAN	28.11.2005	03.12.2005	JANARTHANAN	--
DRAFTING	KRISHNAMOORTHY	05.12.2005	20.12.2005	JANARTHANAN	--

THE EXECUTIVE ENGINEER
BSNL CIVIL DIVISION - II
NO:18, V.S.MUDALI STREET
SAIDAPET, CHENNAI - 16

SURVEYOR	SATVAT INFOSOL
	NO . 23, Lattice Bridge Road K.R.Building, (Pizza Corner Building) 3rd Floor, Adayar, Chennai - 600 020. Ph. 044-24463128,24463129

EIGHTH FLOOR



ORIENTATION:

S
E W
N

AREA DETAILS:-
THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

FIRST FLOOR AREA	SQ.M.
PLINTH AREA	463.73
CARPET AREA	389.40

JOINERY DETAILS:-

Symbol	Description	Dimensions
AD1	ALUMINUM DOOR	1.09 X 2.13
AD2	ALUMINUM DOOR	0.97 X 2.12
WD1	WOODEN DOOR	1.21 X 1.97
WD2	WOODEN DOOR	0.88 X 1.85
WD3	WOODEN DOOR	0.92 X 1.93
WD4	WOODEN DOOR	0.97 X 2.11
WD5	WOODEN DOOR	1.24 X 1.87
WD6	WOODEN DOOR	1.57 X 2.28
WD7	WOODEN DOOR	0.75 X 1.93
WD8	WOODEN DOOR	0.98 X 1.71
WD9	WOODEN DOOR	1.50 X 2.20
PD1	PLASTIC DOOR	0.77 X 2.02
WW1	WOODEN WINDOW	0.98 X 1.71

LEGEND:-

- BRICK WALL
- ALUMINUM PARTITION
- CEILING HEIGHT = 3.21 m

NOTES:-

- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

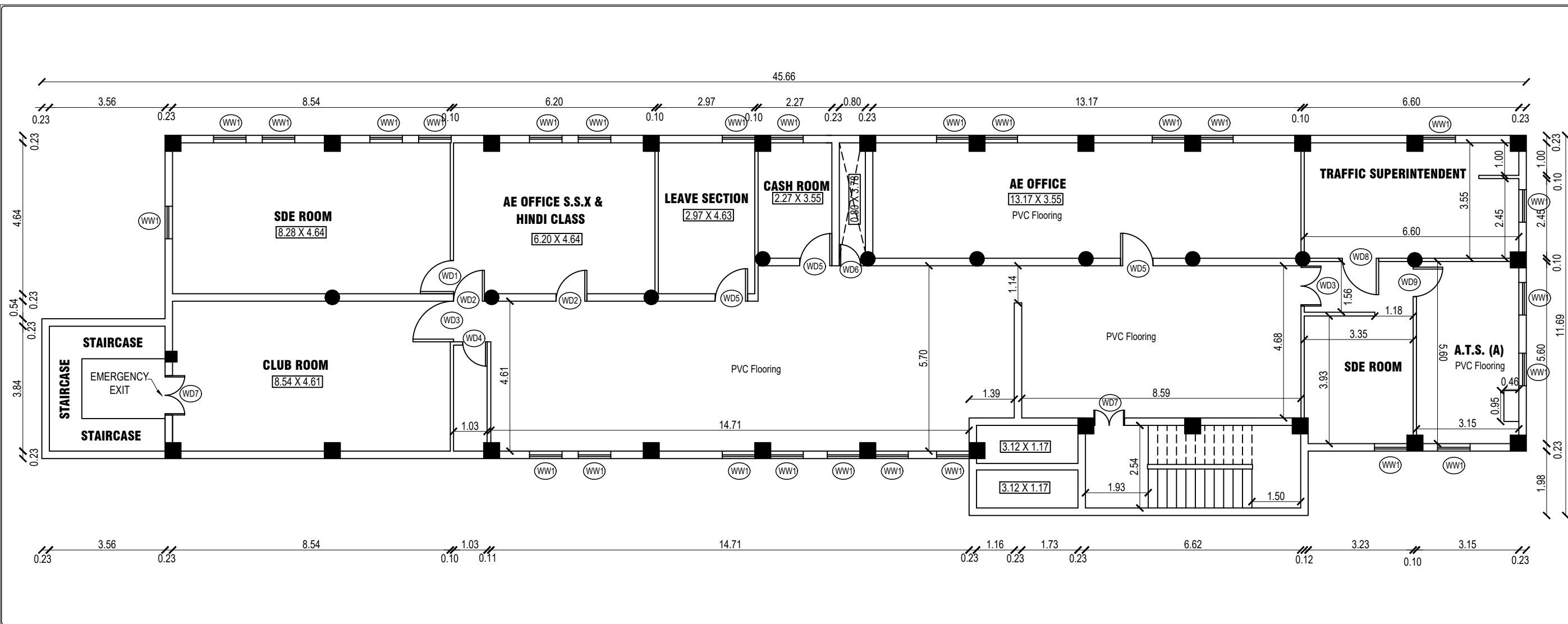
SITE: FLOWER BAZZAR (A.B.)

DRAWING DESCRIPTION: FIRST FLOOR

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	KARTHICK	15.05.2006	06.06.2006	JANARTHANAN	1:140
DRAFTING	SARAVANAN	10.07.2006	22.07.2006	JANARTHANAN	

THE EXECUTIVE ENGINEER
CIVIL DIVISION - I
SAIDAPET, CHENNAI - 600 015.

SATVAT INFOSOL
NO. 23, Lattice Bridge Road
K.R. Building, (Pizza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128, 24463129



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

	SQ.M.
SECOND FLOOR AREA	449.19
PLINTH AREA	449.19
CARPET AREA	374.77

JOINERY DETAILS:-

WD1	WOODEN DOOR	1.02 X 2.95
WD2	WOODEN DOOR	0.95 X 2.15
WD3	WOODEN DOOR	1.25 X 2.15
WD4	WOODEN DOOR	0.75 X 2.15
WD5	WOODEN DOOR	1.00 X 2.06
WD6	WOODEN DOOR	0.65 X 1.99
WD7	WOODEN DOOR	1.21 X 2.42
WD7	WOODEN DOOR	1.12 X 1.97
WD7	WOODEN DOOR	1.08 X 2.02
WW1	WOODEN WINDOW	1.00 X 1.29

LEGEND:-

- BRICK WALL
- ALUMINUM PARTITION
- CEILING HEIGHT = 3.21 m

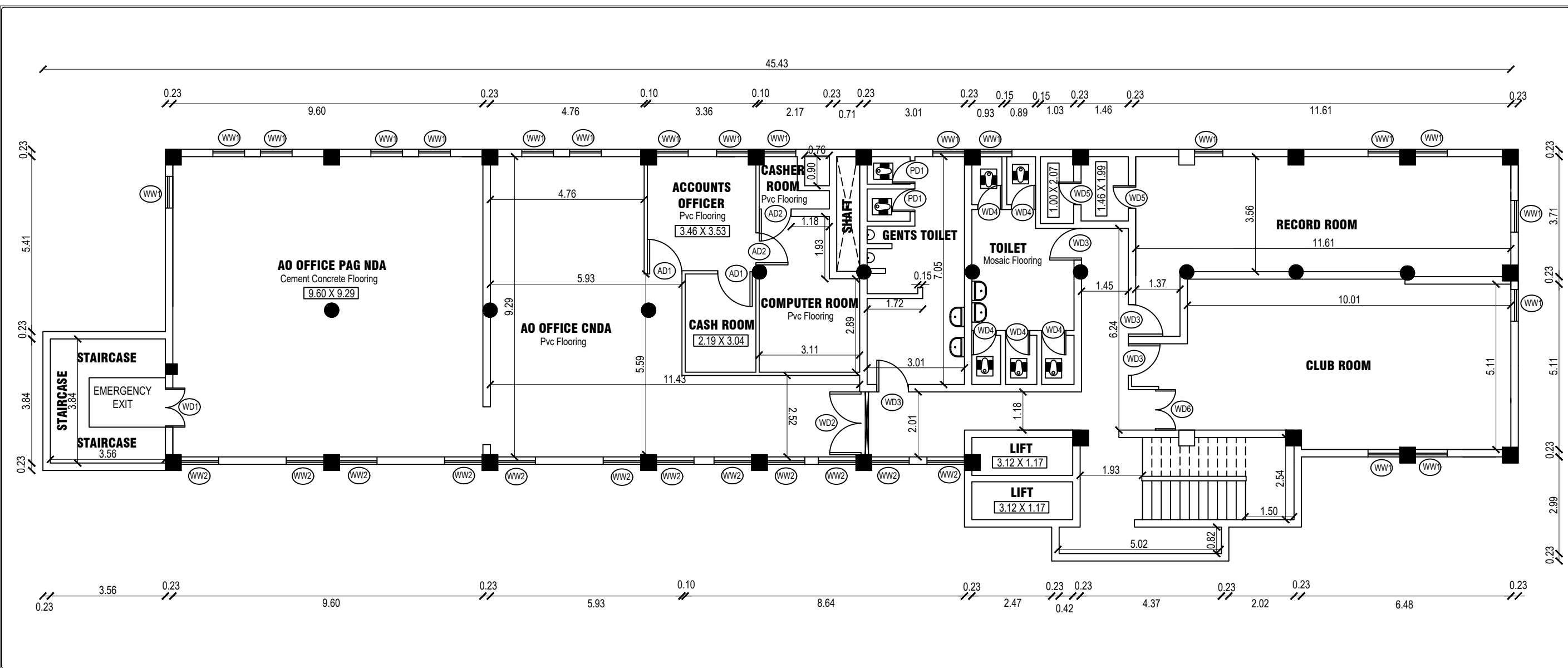
NOTES:-

- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE	DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.				
SITE	FLOWER BAZZAR (A.B)				
DRAWING DESCRIPTION	SECOND FLOOR				
ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	KARTHICK	15.05.2006	06.06.2006	JANARTHANAN	1:140
DRAFTING	SARAVANAN	10.07.2006	22.07.2006	JANARTHANAN	

THE EXECUTIVE ENGINEER
CIVIL DIVISION - I
SAIDAPET, CHENNAI - 600 015.

	SATVAT INFOSOL
NO. - 23, Lattice Bridge Road	
K.R. Building, (Pizza Corner Building)	
3rd Floor, Adyar, Chennai - 600 020.	
Ph. 044-24463128,24463129	



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

	FOURTH FLOOR AREA	SQ.M.
PLINTH AREA	449.72	
CARPET AREA	372.26	

JOINERY DETAILS:-

AD1	ALUMINUM DOOR	1.07 X 2.14
AD2	ALUMINUM DOOR	0.99 X 1.14
WD1	WOODEN DOOR	1.21 X 1.94
WD2	WOODEN DOOR	1.94 X 1.25
WD3	WOODEN DOOR	0.98 X 2.55
WD4	WOODEN DOOR	0.75 X 2.02
WD5	WOODEN DOOR	0.70 X 1.98
WD6	WOODEN DOOR	1.25 X 1.00
PD1	PLASTIC DOOR	0.70 X 2.07
WW1	WOODEN WINDOW	0.98 X 1.20
WW2	WOODEN WINDOW	1.16 X 1.21

LEGEND:-

- BRICK WALL
- ALUMINUM PARTITION
- CEILING HEIGHT = 3.48 m

NOTES:-

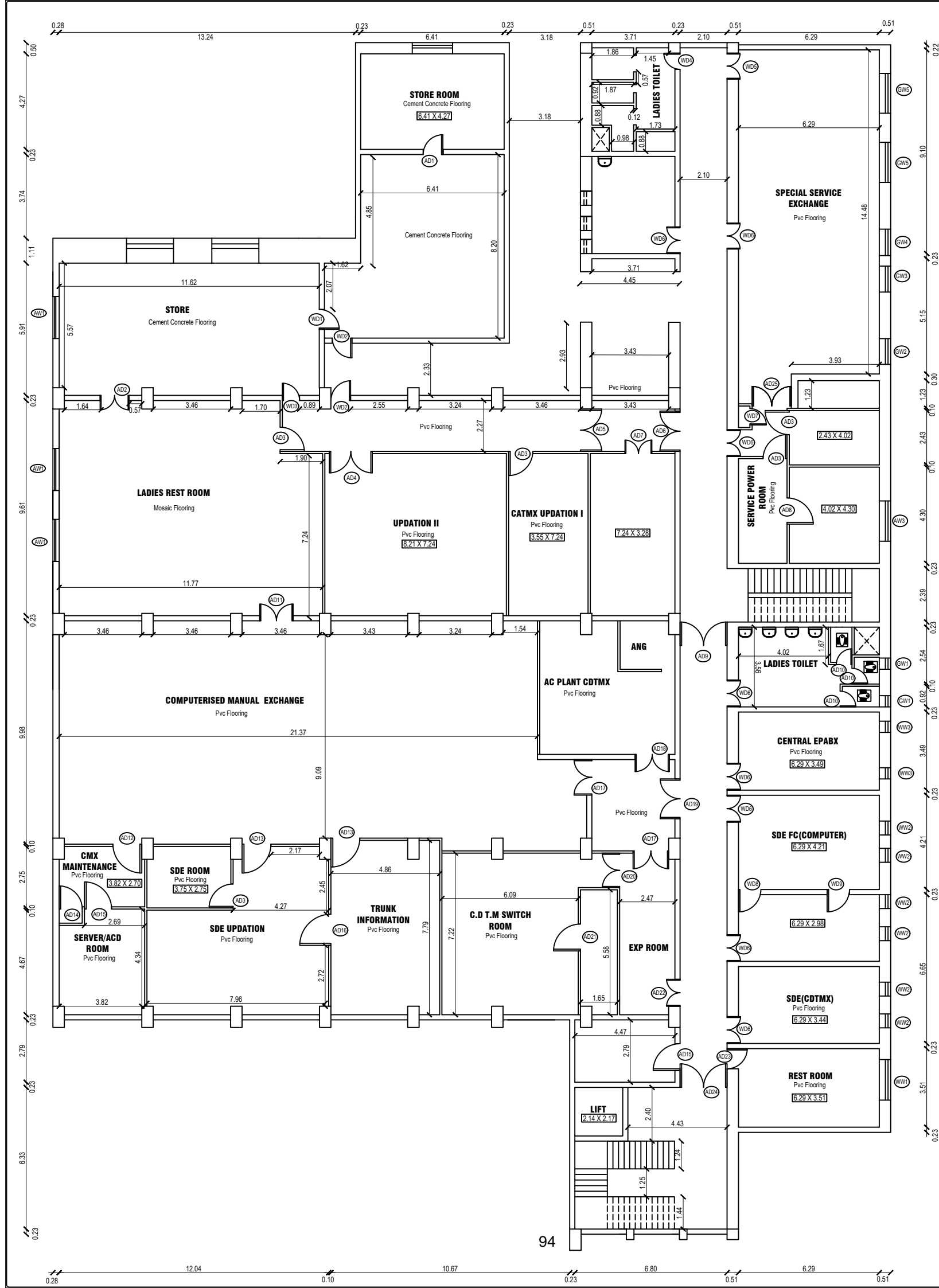
- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE	DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN
SITE	FLOWER BAZZAR (A.B.)
DRAWING DESCRIPTION	FOURTH FLOOR

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	KARTHIK	15.05.2006	06.06.2006	JANARTHANAN	1:140
DRAFTING	SARAVANAN	10.07.2006	22.07.2006	JANARTHANAN	

THE EXECUTIVE ENGINEER
CIVIL DIVISION - I
SAIDAPET, CHENNAI - 600 015.

SATVAT INFO SOL
NO. 23, Lattice Bridge Road
K.R. Building, (Pizza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128,24463129



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

SECOND FLOOR AREA	SQ.M
PLINTH AREA	1854.51
CARPET AREA	1353.50

JOINERY DETAILS:-

WD1	WOODEN DOOR	0.89 X 1.12
WD2	WOODEN DOOR	0.89 X 2.30
WD3	WOODEN DOOR	0.77 X 1.93
WD4	WOODEN DOOR	0.74 X 2.42
WD5	WOODEN DOOR	1.16 X 2.40
WD6	WOODEN DOOR	1.19 X 2.40
WD7	WOODEN DOOR	0.68 X 2.40
WD8	WOODEN DOOR	1.00 X 2.06
WD9	WOODEN DOOR	1.00 X 2.28
AD1	ALUMINUM DOOR	0.90 X 2.12
AD2	ALUMINUM DOOR	1.30 X 2.77
AD3	ALUMINUM DOOR	1.08 X 2.16
AD4	ALUMINUM DOOR	1.92 X 2.17
AD5	ALUMINUM DOOR	1.89 X 2.65
AD6	ALUMINUM DOOR	1.80 X 2.65
AD7	ALUMINUM DOOR	1.20 X 2.41
AD8	ALUMINUM DOOR	1.17 X 2.16
AD9	ALUMINUM DOOR	2.10 X 2.36
AD10	ALUMINUM DOOR	0.70 X 2.06
AD11	ALUMINUM DOOR	1.49 X 2.13
AD12	ALUMINUM DOOR	1.30 X 2.10
AD13	ALUMINUM DOOR	1.29 X 2.16
AD14	ALUMINUM DOOR	1.03 X 2.20
AD15	ALUMINUM DOOR	1.21 X 2.16
AD16	ALUMINUM DOOR	1.39 X 2.10
AD17	ALUMINUM DOOR	1.59 X 2.16
AD18	ALUMINUM DOOR	1.53 X 2.08
AD19	ALUMINUM DOOR	1.78 X 2.40
AD20	ALUMINUM DOOR	1.54 X 2.16
AD21	ALUMINUM DOOR	1.20 X 2.06
AD22	ALUMINUM DOOR	1.20 X 2.10
AD23	ALUMINUM DOOR	0.90 X 2.40
AD24	ALUMINUM DOOR	2.10 X 2.40
AD25	ALUMINUM DOOR	1.75 X 2.16
AW1	ALUMINUM WINDOW	1.88 X 1.22
AW2	ALUMINUM WINDOW	2.10 X 1.22
AW3	ALUMINUM WINDOW	1.80 X 1.44
WW1	WOODEN WINDOW	1.80 X 1.48
WW2	WOODEN WINDOW	0.60 X 1.48
WW3	WOODEN WINDOW	0.50 X 1.10
GW1	GRILL WINDOW	0.50 X 1.44
GW2	GRILL WINDOW	1.15 X 1.44
GW3	GRILL WINDOW	1.16 X 1.44
GW4	GRILL WINDOW	1.18 X 1.44
GW5	GRILL WINDOW	1.79 X 1.44

LEGEND:-

- BRICK WALL
- ALUMINUM PARTITION
- CEILING HEIGHT = 4.73 m

NOTES:-

- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN

SITE: FLOWER BAZZER (CTX)

SECOND FLOOR PLAN

DATE	15.06.2008	DATE	15.06.2008	SCALE	1:170
DRAWN	15.06.2008	CHECKED	15.06.2008		

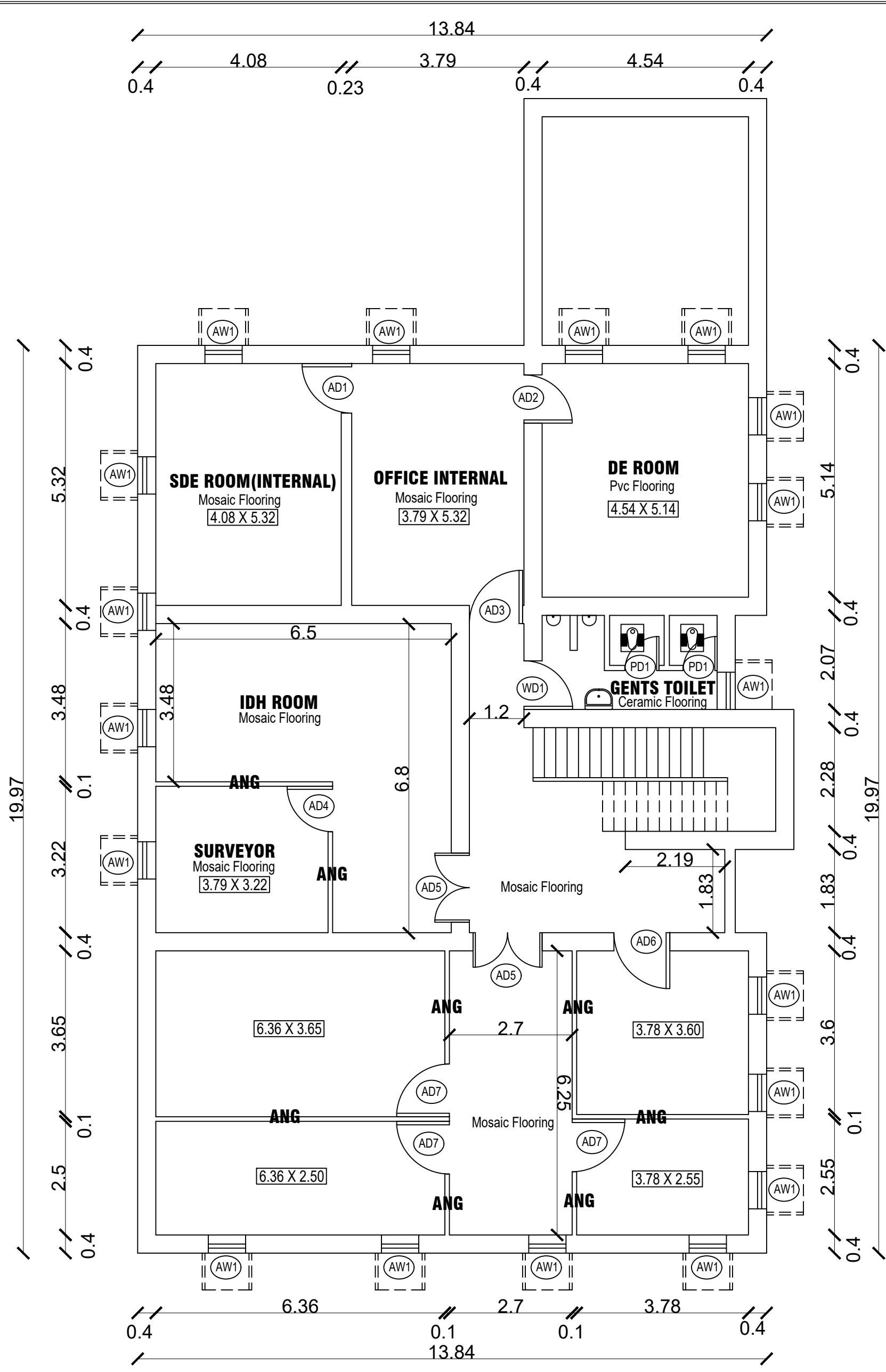
THE EXECUTIVE ENGINEER

CIVIL CIRCLE - I

SAIDAPET, CHENNAI - 600 015.

SATVAT INFOSOL

NO. 28, Laxmi Bridge Road,
K.R. Building, (Pura Corner Building)
2nd Floor, Saidapet, Chennai - 600 015.
Ph. 044-24483128, 24483129



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

FIRST FLOOR AREA	SQ.M.
PLINTH AREA	275.54
CARPET AREA	217.91

JOINERY DETAILS:-

AD1	ALUMINUM DOOR	1.09 X 2.14
AD2	ALUMINUM DOOR	1.06 X 2.20
AD3	ALUMINUM DOOR	1.17 X 2.20
AD4	ALUMINUM DOOR	1.00 X 2.16
AD5	ALUMINUM DOOR	1.52 X 2.22
AD6	ALUMINUM DOOR	1.23 X 2.21
AD7	ALUMINUM DOOR	1.16 X 2.16
WD1	WOODEN DOOR	1.07 X 2.17
AW1	ALUMINUM WINDOW	0.82 X 0.96
PD1	PLASTIC WINDOW	0.75 X 1.07

LEGEND:-

— BRICK WALL

— ALUMINUM PARTITION

CEILING HEIGHT = 4.75 m

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

2. ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

SITE ENNORE

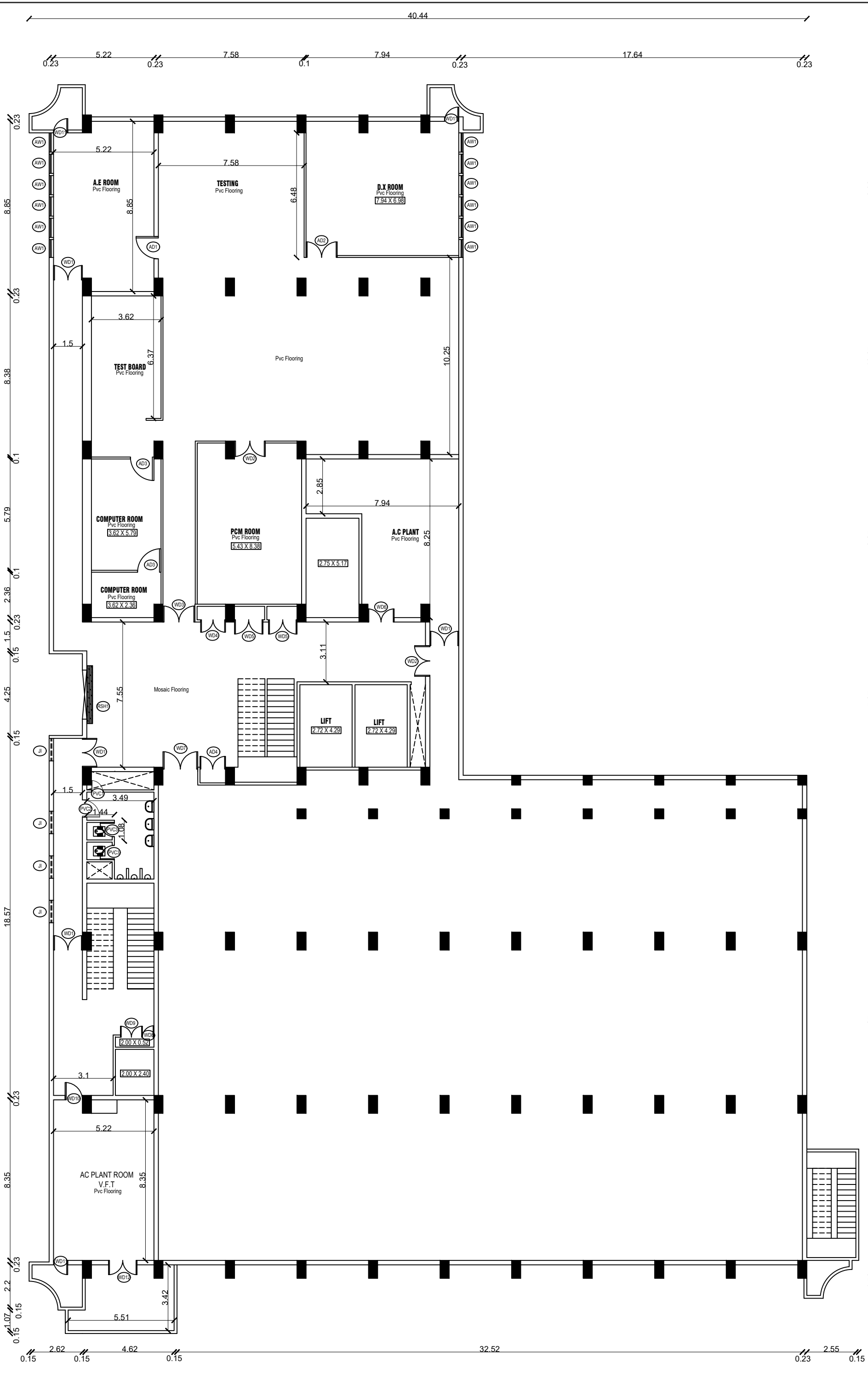
DRAWING DESCRIPTION FIRST FLOOR PLAN

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	JANARTHANAN	27.06.2006	29.06.2006	JANARTHANAN	1:100
DRAFTING	SARAVANAN	03.07.2006	07.07.2006	JANARTHANAN	

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L, CIVIL DIVISION - I
SAIDAPET, CHENNAI - 600 015.

SATVAT INFOSOL

NO . 23, Lattice Bridge Road
K.R.Building, (Pizza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128,24463129



ORIENTATION

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

FIRST FLOOR AREA	SQ.m.
PLINTH AREA	1786.34
CARPET AREA	1638.50

JOINERY DETAILS:-

AD1	ALUMINUM DOOR	1.16 X 2.16
AD2	ALUMINUM DOOR	1.62 X 2.16
AD3	ALUMINUM DOOR	1.22 X 2.17
AD4	ALUMINUM DOOR	1.32 X 2.29
WD1	WOODEN DOOR	1.50 X 2.27
WD2	WOODEN DOOR	1.60 X 2.27
WD3	WOODEN DOOR	1.66 X 2.25
WD4	WOODEN DOOR	1.29 X 2.12
WD5	WOODEN DOOR	1.48 X 2.22
WD6	WOODEN DOOR	1.36 X 2.27
WD7	WOODEN DOOR	1.81 X 2.29
WD8	WOODEN DOOR	0.60 X 1.35
WD9	WOODEN DOOR	1.14 X 1.14
WD10	WOODEN DOOR	1.90 X 1.35
WD11	WOODEN DOOR	0.74 X 1.35
WD12	WOODEN DOOR	1.48 X 1.92
PVC1	PLASTIC DOOR	0.60 X 2.00
PVC2	PLASTIC DOOR	0.90 X 2.00
PVC3	PLASTIC DOOR	0.74 X 2.00
RSH1	ROLLING SHUTTER	2.54 X 3.37
AW1	ALU WINDOW	1.00 X 1.06
J1	JOLLY	1.17 X 2.22

LEGEND:-

BRICK WALL

ALUMINUM PARTITION

CEILING HEIGHT =4.13 m

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

2. ALL FLOORS ARE P.O.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE

DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN

SITE

HARBOUR

DESCRIPTION

FIRST FLOOR PLAN

ACTIVITY

DESIGNED BY DATE STARTED DATE FINISHED CHECKED BY SCALE

SUPERVISOR

DATE

12.06.2008

25.06.2008

DATE

1:190

DATE

17.07.2008

25.07.2008

DATE

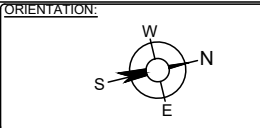
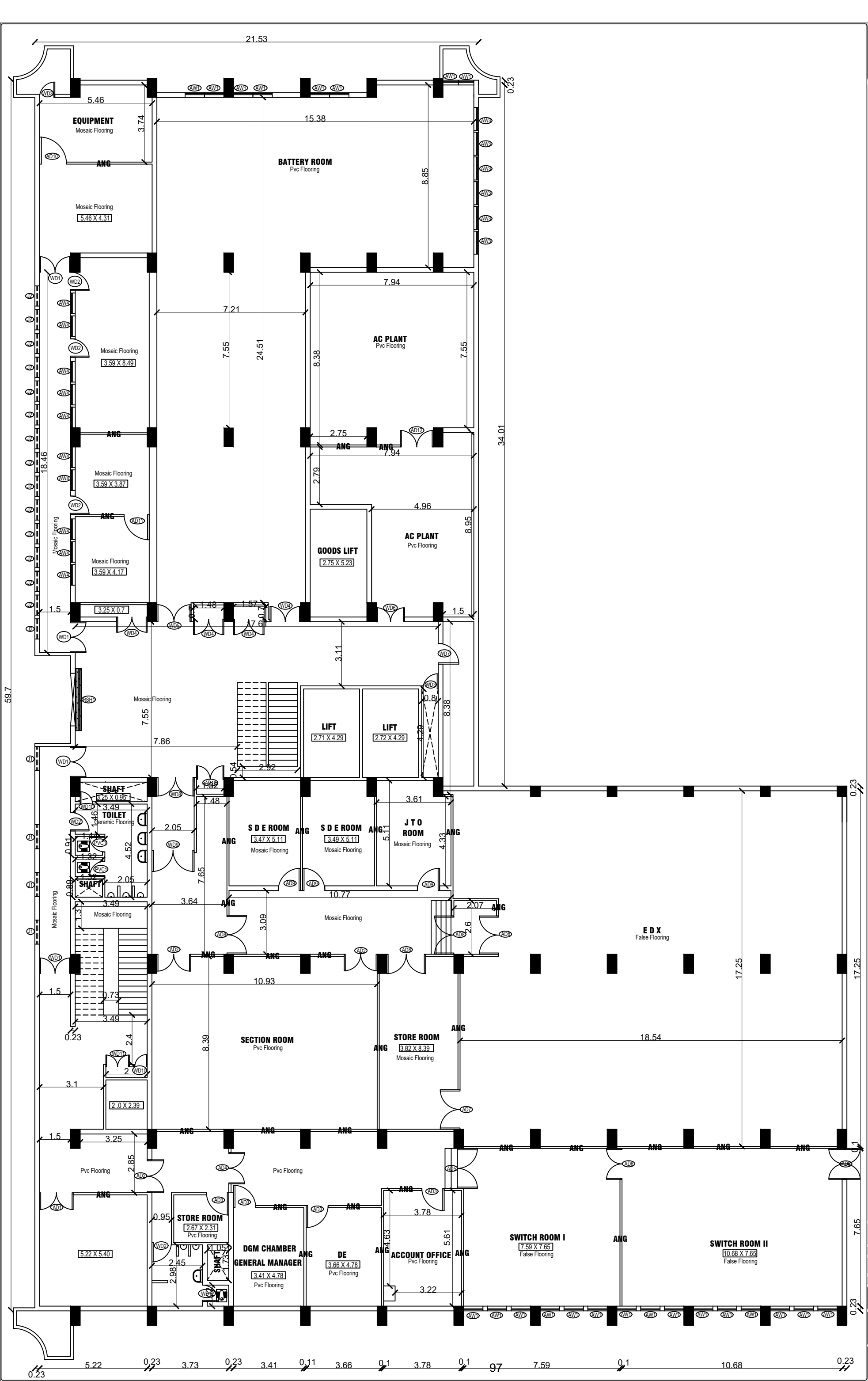
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CLIENT

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L. CIVIL DIVISION - I
SAIDAPET
CHENNAI - 600 015.

EXECUTOR

SATVAT INFOSOL
W.D. 23, Lattana Bridge Road
K.P. Building, (Plaza Corner Building)
3rd Floor, Adyar, Chennai - 600 020.
Ph. 044-24463128,24463129



AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

THIRD FLOOR AREA	SQ. M.
PLINTH AREA	1744.39
CARPET AREA	1571.89

JOINERY DETAILS:-

AD1	ALUMINUM DOOR	1.63 X 2.17
AD2	ALUMINUM DOOR	1.60 X 2.26
AD3	ALUMINUM DOOR	1.08 X 2.16
AD4	ALUMINUM DOOR	1.52 X 2.22
AD5	ALUMINUM DOOR	1.94 X 2.22
AD6	ALUMINUM DOOR	1.50 X 1.80
AD7	ALUMINUM DOOR	1.92 X 2.20
AD8	ALUMINUM DOOR	1.89 X 2.26
AD9	ALUMINUM DOOR	1.08 X 2.26
AD10	ALUMINUM DOOR	1.32 X 2.20
AD11	ALUMINUM DOOR	1.22 X 2.32
AD12	ALUMINUM DOOR	1.60 X 2.02
WD1	WOODEN DOOR	1.50 X 2.30
WD2	WOODEN DOOR	0.90 X 2.30
WD3	WOODEN DOOR	0.74 X 2.06
WD4	WOODEN DOOR	1.48 X 2.12
WD5	WOODEN DOOR	1.60 X 2.27
WD6	WOODEN DOOR	1.36 X 2.27
WD7	WOODEN DOOR	1.00 X 2.30
WD8	WOODEN DOOR	1.81 X 2.30
WD9	WOODEN DOOR	2.05 X 2.30
WD10	WOODEN DOOR	0.60 X 2.00
WD11	WOODEN DOOR	1.23 X 1.50
WD12	WOODEN DOOR	1.02 X 1.06
PVC1	PVC DOOR	0.74 X 2.02
AW1	ALUMINUM WINDOW	1.62 X 1.49
AW2	ALUMINUM WINDOW	1.06 X 1.45
AW3	ALUMINUM WINDOW	1.27 X 1.45
AW4	ALUMINUM WINDOW	2.62 X 1.45
J1	JOLLY	1.17 X 1.22
J2	JOLLY	0.98 X 1.35
RS1	ROLLING SHUTTER	2.55 X 3.38

LEGEND:-

BRICK WALL

ALUMINUM PARTITION

CEILING HEIGHT = 4.13 m

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

2. ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

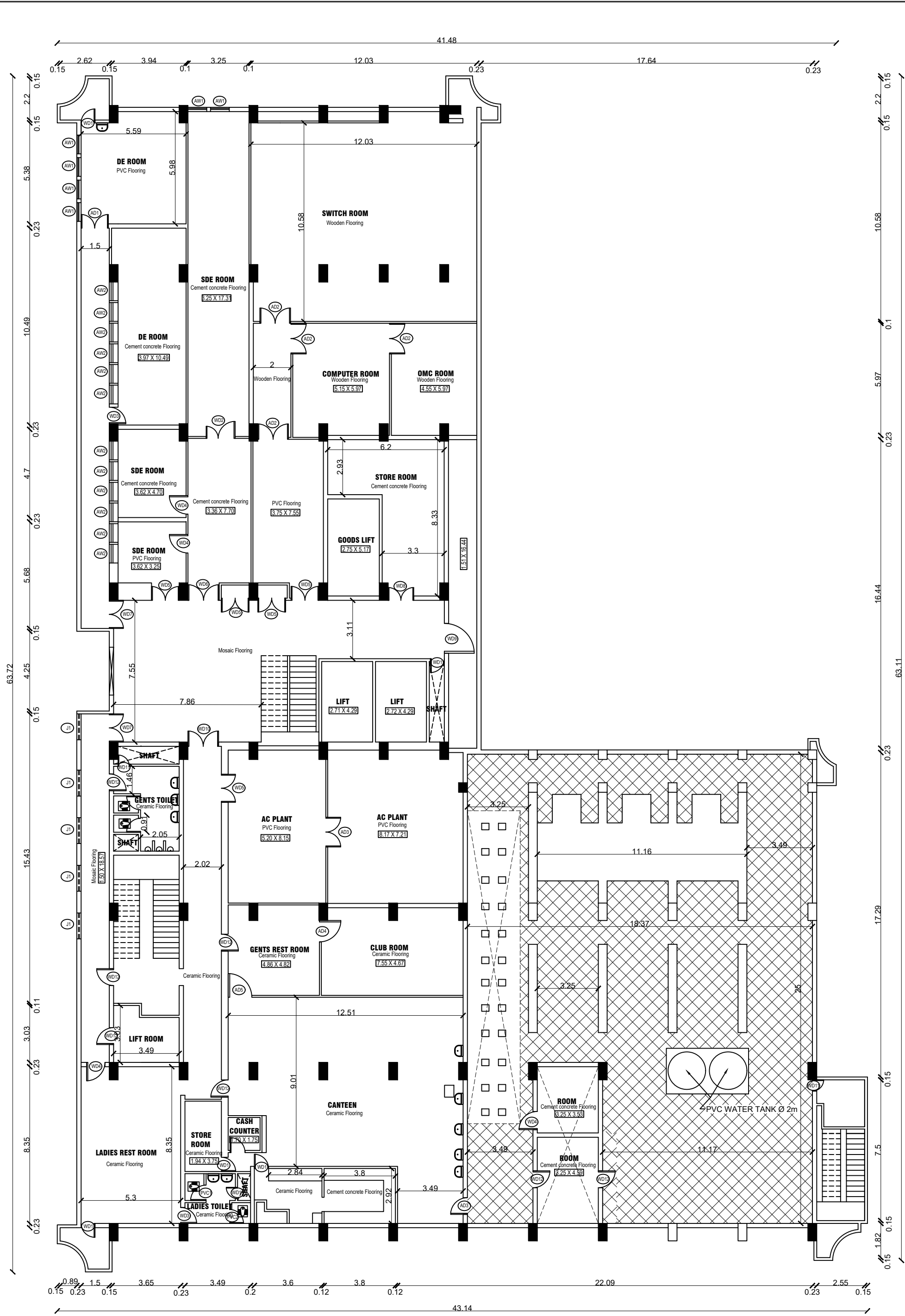
SITE: HARBOUR

THIRD FLOOR PLAN

EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
KARTHIK	12.06.2006	20.06.2006	ANANTHAN	1:170

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L., CIVIL DIVISION - I
SAIDAPET
CHENNAI - 600 015.

SATVAT INFOSOL
NO. 23, Lattice Bridge Road
K.I.T. Building, (Pizza Corner Building)
3rd Floor, Adyar, Chennai - 600 020.
Ph: 044-24483128,24483129



ORIENTATION

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

	FOURTH FLOOR AREA	SQ.m.
PLINTH AREA	1332.50	
CARPET AREA	1149.69	

JOINERY DETAILS:-

AD1	ALUMINUM DOOR	1.45 X 2.17
AD2	ALUMINUM DOOR	1.63 X 2.45
AD3	ALUMINUM DOOR	1.58 X 2.03
AD4	ALUMINUM DOOR	1.14 X 2.17
AD5	ALUMINUM DOOR	1.26 X 2.33
WD1	WOODEN DOOR	0.74 X 1.83
WD2	WOODEN DOOR	1.54 X 2.29
WD3	WOODEN DOOR	0.88 X 2.27
WD4	WOODEN DOOR	0.99 X 2.19
WD5	WOODEN DOOR	1.47 X 2.12
WD6	WOODEN DOOR	1.66 X 2.27
WD7	WOODEN DOOR	1.50 X 2.27
WD8	WOODEN DOOR	1.36 X 2.27
WD9	WOODEN DOOR	1.66 X 1.81
WD10	WOODEN DOOR	1.63 X 2.27
WD11	WOODEN DOOR	0.60 X 1.83
WD12	WOODEN DOOR	0.90 X 1.83
PVC1	PLASTIC DOOR	0.80 X 2.02
PVC2	PLASTIC DOOR	0.74 X 2.02
AW1	ALUMINUM WINDOW	1.00 X 1.05
AW2	ALUMINUM WINDOW	0.99 X 1.05
J1	JOLLY	1.38 X 1.23

LEGEND:-

- BRICK WALL
- ALUMINUM PARTITION
- CEILING HEIGHT = 4.13 m

NOTES:-

- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.P FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN

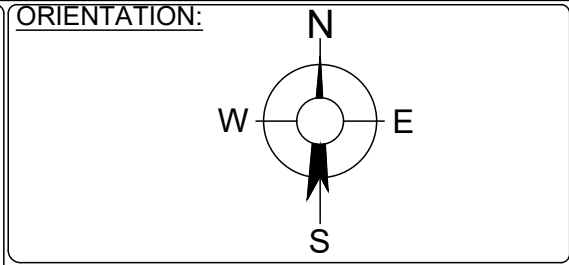
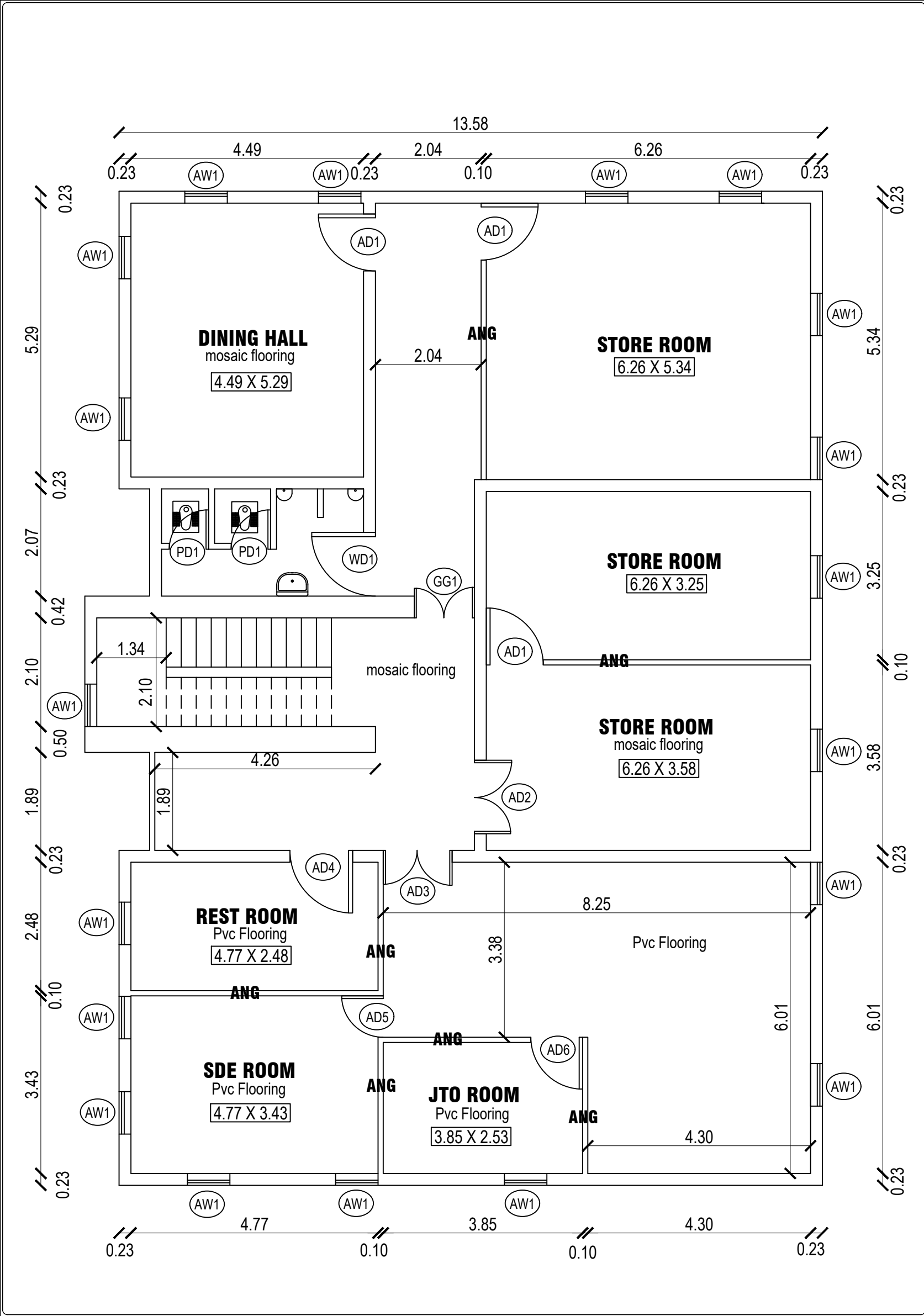
REVISED	DATE	REVISION	BY	CHKD BY	SCALE
1	12.06.2006	20.06.2006	SAIDAPET	SAIDAPET	1:200

SITE: HARBOUR

FOURTH FLOOR PLAN

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L. CIVIL DIVISION - I
SAIDAPET
CHENNAI - 600 015.

SATVAT INFOSOL
NO. 25, Latture Bridge Road
3rd Floor, Aditya, Chennai - 600 020.
SATVAT
PH: 044-24403128, 24403129



AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

FIRST FLOOR AREA	SQ.M.
PLINTH AREA	260.39
CARPET AREA	221.16

JOINERY DETAILS:-

AD1	ALUMINUM DOOR	1.10 X 2.13
AD2	ALUMINUM DOOR	1.42 X 2.16
AD3	ALUMINUM DOOR	1.33 X 2.16
AD4	ALUMINUM DOOR	1.21 X 2.16
AD5	ALUMINUM DOOR	0.80 X 2.16
AD6	ALUMINUM DOOR	1.00 X 2.16
WD1	WOODEN DOOR	1.23 X 2.15
PD1	PVC DOOR	0.76 X 2.09
AW1	ALUMINIUM WINDOW	0.82 X 0.62
GG1	GRILL GATE	1.16 X 2.07

LEGEND:-

BRICK WALL

ALUMINUM PARTITION

CEILING HEIGHT =4.91 m

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

2. ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE	DIGITALAISATION OF EXISTING AS-BUILT STRUCTURE PLAN.
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SITE	MANALI
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DRAWING DESCRIPTION	FIRST FLOOR PLAN
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ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	KARTHICK	01.07.2006	03.07.2006	JANARTHANAN	1: 85
DRAFTING	SARAVANAN	08.07.2006	13.07.2006	JANARTHANAN	

THE EXECUTIVE ENGINEER - CIVIL

B.S.N.L, CIVIL DIVISION - I

SAIDAPET

CHENNAI - 600 015.

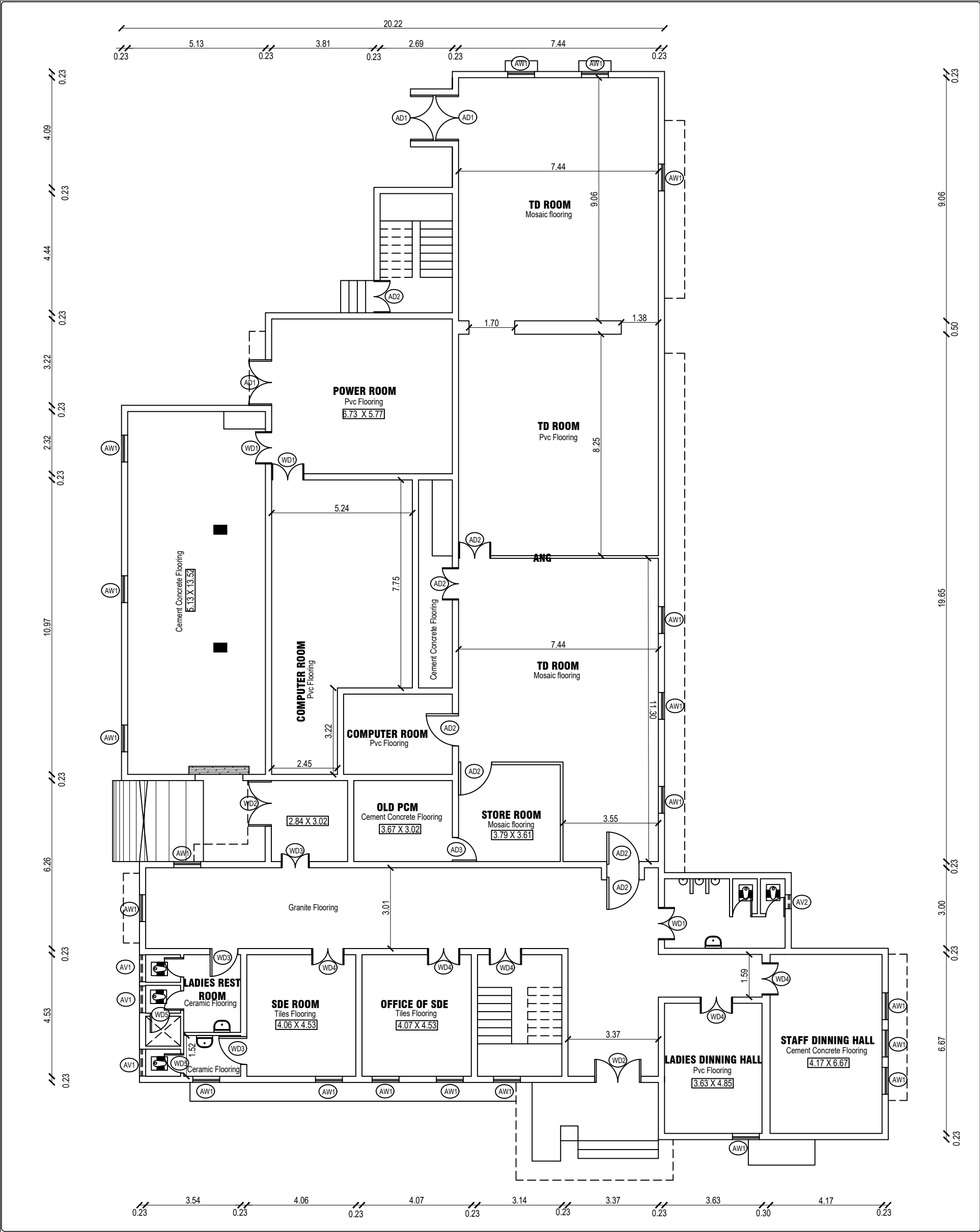
SATVAT INFOSOL

NO . 23, Lattice Bridge Road

K.R.Building, (Pizza Corner Building)

3rd Floor, Adayar, Chennai - 600 020.

Ph. 044-24463128,24463129



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

GROUND FLOOR AREA	SQ.m.
PLINTH AREA	700.96
CARPET AREA	617.70

JOINERY DETAILS:-

AD1	ALUMINUM DOOR	1.70 X 2.16
AD2	ALUMINUM DOOR	1.20 X 2.16
AD3	ALUMINUM DOOR	0.90 X 1.94
WD1	WOODEN DOOR	1.20 X 2.52
WD2	WOODEN DOOR	1.70 X 2.52
WD3	WOODEN DOOR	1.04 X 2.10
WD4	WOODEN DOOR	1.20 X 2.10
WD5	WOODEN DOOR	0.72 X 2.06
AW1	ALUMINIUM WINDOW	1.00 X 1.50
AV1	ALUMINIUM VENT.	1.00 X 0.60
AV2	ALUMINIUM VENT.	0.52 X 1.02

LEGEND:-

- BRICK WALL
- ALUMINUM PARTITION
- CEILING HEIGHT =4.56 m

NOTES:-

- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE

DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN

SITE

KALMANDAM

DRAWING DESCRIPTION

GROUND FLOOR PLAN - I

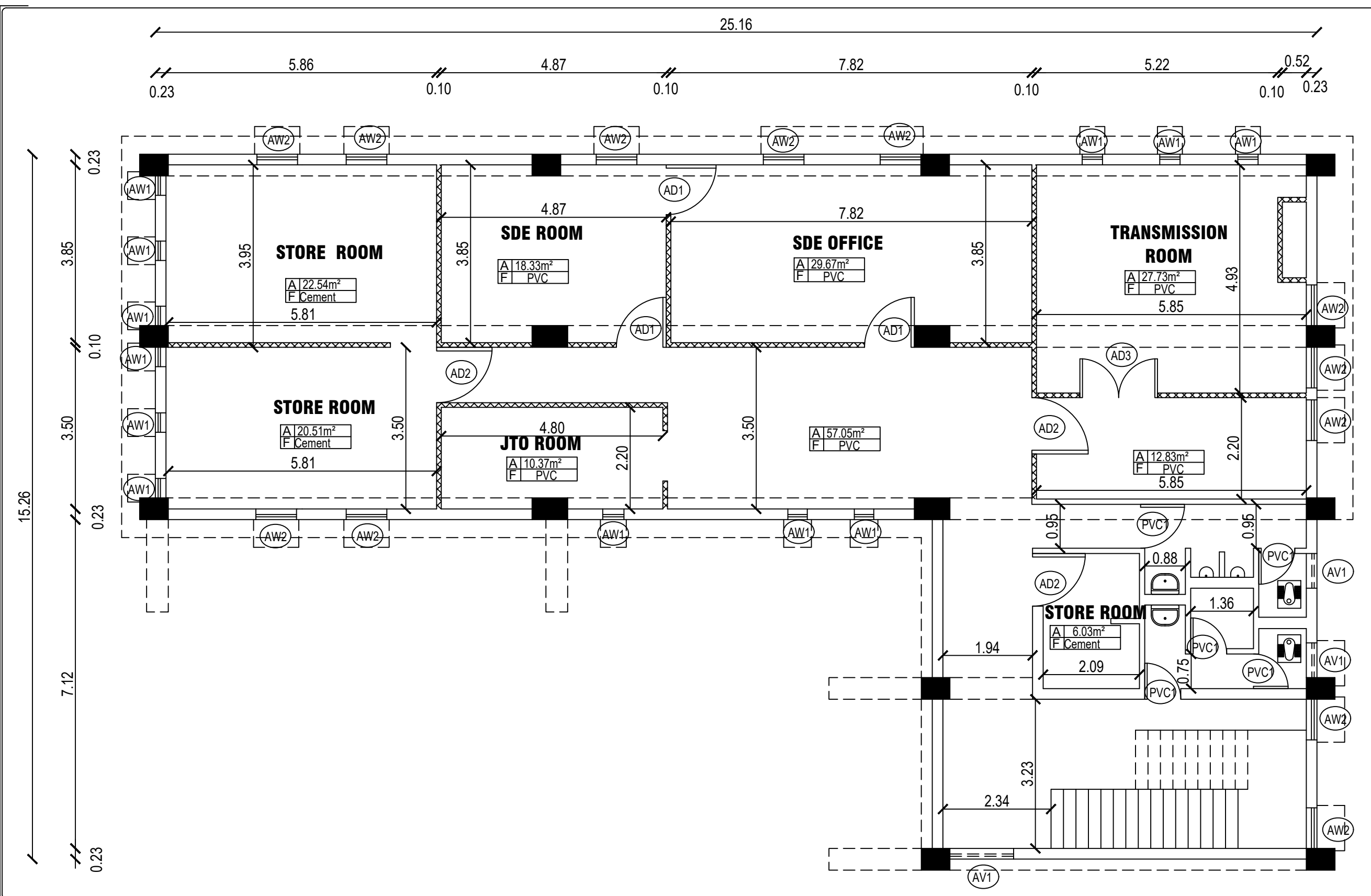
ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	KARTHIK	22.06.2006	24.06.2006	ANANTHANAN	1:150
DRAFTING	SARAVANAN	24.07.2006	27.07.2006	ANANTHANAN	

CLIENT

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L, CIVIL DIVISION - I
SAIDAPET, CHENNAI - 600 015.

SATVAT INFOSOL

NO. 23, Lattice Bridge Road
K.R. Building, (Piazza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24453128,24463129



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

FIRST FLOOR	SQ.M.
PLINTH AREA	262.02
CARPET AREA	222.00

JOINERY DETAILS:-

AD1	ALUMINIUM DOOR	1.08 X 2.10
AD2	ALUMINIUM DOOR	1.22 X 2.15
AD3	ALUMINIUM DOOR	1.68 X 2.18
PVC1	PLASTIC DOOR	0.78 X 2.10
AW1	ALUMINIUM DOOR	0.42 X 1.15
AW2	ALUMINIUM WINDOW	0.88 X 1.18
AV1	ALUMINIUM VENT.	0.75 X 0.60

LEGEND:-

- BRICK WALL
- ALUMINUM PARTITION
- COLUMN SIZE – 0.62 x 0.47
- BEAM SIZE – 0.47 x 0.40

CEILING HEIGHT = 4.08m

NOTES:-

- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

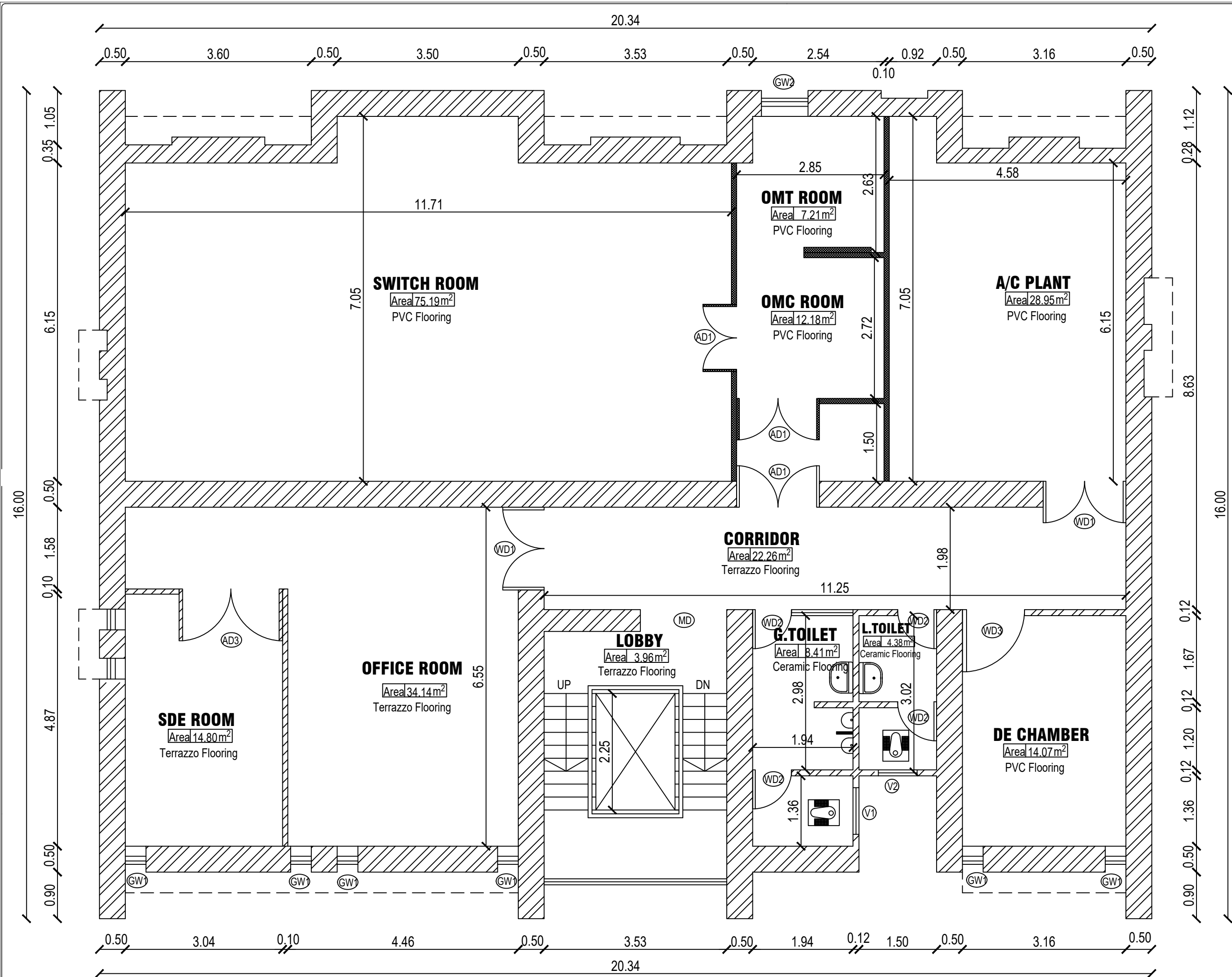
PROJECT TITLE	DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.				
SITE	REDHILLS TE - BUILDING				
DRAWING DESCRIPTION	FIRST FLOOR PLAN				
ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	JANARTHANAN	09.01.2007	10.01.2007	JANARTHANAN	1:100
DRAFTING	SARAVANAN	11.01.2007	12.01.2007	JANARTHANAN	

CLIENT

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L, CIVIL DIVISION - I
89, JEENIS ROAD
SAIDAPET, CHENNAI - 600 015.

SURVEYOR

SATVAT INFOSOL
NO . 23, Lattice Bridge Road
K.R.Building, (Pizza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128,24463129



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

AREA	SQ.M.
1.PLINTH AREA	295.68
2.CARPET AREA	233.37

JOINERY DETAILS:-

MD	MAIN DOOR	1.67 X 2.13
WD1	WOODENDOOR	1.60 X 2.13
WD2	WOODENDOOR	0.75 X 2.13
WD3	WOODENDOOR	1.20 X 2.13
AD1	ALUMINIUM DOOR	1.60 X 2.13
AD2	ALUMINIUM DOOR	1.30 X 2.13
AD3	ALUMINIUM DOOR	2.00 X 2.13
GW1	GRILL WINDOW	0.90 X 0.23
GW2	GRILL WINDOW	0.40 X 0.23
V1	VENTILATOR	0.90 X 0.23
V2	VENTILATOR	0.75 X 0.23

LEGEND:-

ALUMINIUM PARTITION

BRICK WALL

CEILING HEIGHT = 4.51 M

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

2. ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

REV	DATE	DESCRIPTION	DRN	CHK	APP
R0	28.03.2005	FIRST ISSUE			

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

SITE: BSNL @ GUMMIDIPOONDI

DRAWING DESCRIPTION: FIRST FLOOR PLAN

REPORT STATUS	DRAWING DETAILS	PROJECT CODE	REVISION NO
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<input type="radio"/> SECONDARY	ANGLE		
<input type="radio"/> FINAL	DIMENSION		
	GRID/COORD		
	TOPO DATA		
	CORRIDOR		
	ROAD W/L		
	SPOT LVL		
	L-SECTION		
	C-SECTION		

SCALE: 1 : 50

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	APPROVED BY
SURVEYING	ILAIYARAJA	16.04.2005	21.04.2005	ILAIYAAH	---
DRAFTING	VJAYAKUMAR	22.04.2005	22.04.2005	ILAIYAAH	---

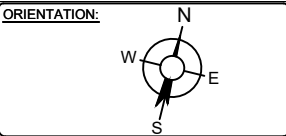
CLIENT

GENERAL MANAGER
BSNL, CHENGALPET SSA,
No:110, EGMORE HIGH ROAD,
CHENNAI - 600 005.

SURVEYOR

SATVAT INFOSOL
NO . 23, Lattice Bridge Road
K.R.Building, (Pizza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128,24463129

103



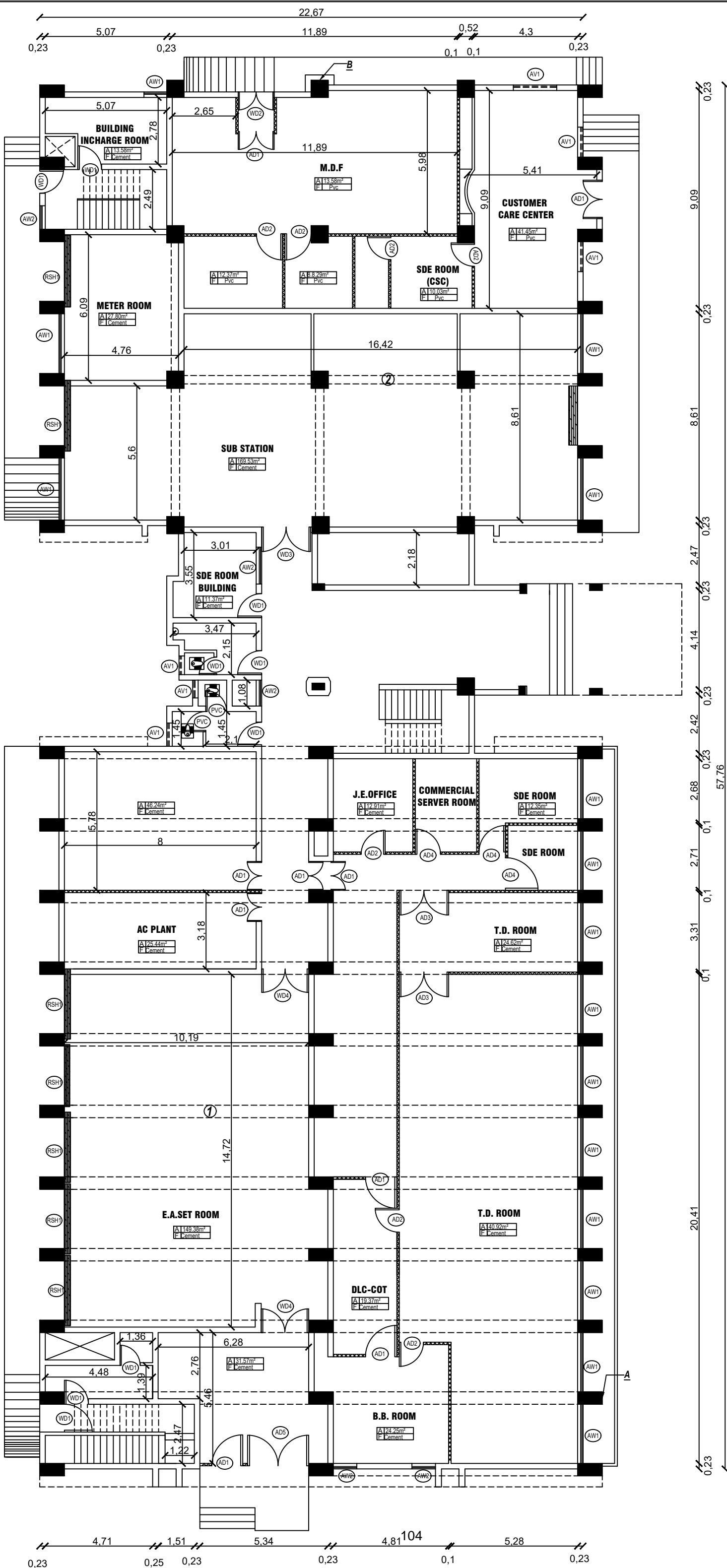
AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

	SQ.M.
GROUND FLOOR	1244.14
PLINTH AREA	1138.34
CARPET AREA	1138.34

JOINERY DETAILS:-

WD1	WOODEN DOOR	0.99 X 2.07
WD2	WOODEN DOOR	1.50 X 2.18
WD3	WOODEN DOOR	2.04 X 2.15
WD4	WOODEN DOOR	1.96 X 2.15
AD1	ALUMINUM DOOR	1.50 X 2.09
AD2	ALUMINUM DOOR	0.98 X 2.05
AD3	ALUMINUM DOOR	2.06 X 2.10
AD4	ALUMINUM DOOR	1.05 X 2.10
PVC1	PLASTIC DOOR	0.88 X 2.07
AW1	ALUMINUM WINDOW	2.59 X 1.18
AW2	ALUMINUM WINDOW	0.98 X 1.15
AV1	ALUMINUM VENT	1.81 X 0.90



LEGEND:-

	BRICK WALL
	ALUMINUM PARTITION
CEILING HEIGHT = 4.90m	
	COLUMN A SIZE = 1.03 X 0.52
	COLUMN B SIZE = 0.72 X 0.72
	BEAM SIZE 1 = 0.52 X 0.48
	BEAM SIZE 2 = 0.35 X 0.48

NOTES:-

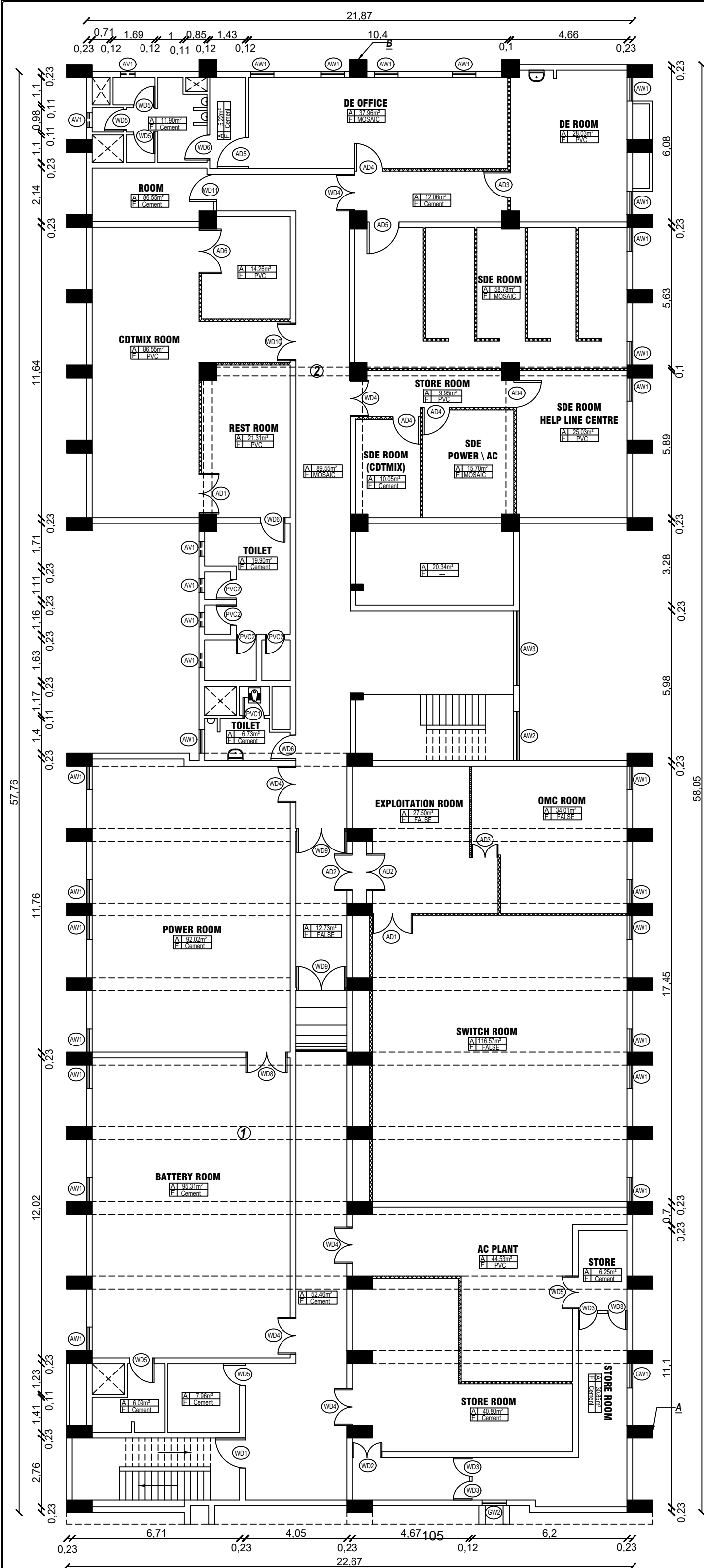
1. ALL DIMENSIONS ARE IN METRES.

2. ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE	DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.				
SITE	ANNA NAGAR TE - BUILDING				
DRAWING DESCRIPTION	GROUND FLOOR				
ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	JANATHANAN	28.12.2006	03.01.2007	JANATHANAN	1:120
DRAFTING	SARAVANAN	04.01.2007	08.01.2007	JANATHANAN	

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L. CIVIL DIVISION - I
89, JEENIS ROAD
SAIDAPET, CHENNAI - 600 015.





ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

FIRST FLOOR	SQ.M.
PLINTH AREA	1199.03
CARPET AREA	1047.66

JOINERY DETAILS:-

WD1	WOODEN DOOR	1.20 X 2.07
WD2	WOODEN DOOR	1.18 X 2.47
WD3	WOODEN DOOR	0.75 X 2.45
WD4	WOODEN DOOR	1.46 X 2.07
WD5	WOODEN DOOR	0.89 X 2.07
WD6	WOODEN DOOR	1.00 X 2.04
WD7	WOODEN DOOR	1.30 X 2.48
WD8	WOODEN DOOR	1.65 X 2.04
WD9	WOODEN DOOR	1.95 X 2.07
WD10	WOODEN DOOR	1.52 X 2.07
WD11	WOODEN DOOR	1.10 X 2.06
AD1	ALUMINUM DOOR	1.60 X 2.07
AD2	ALUMINUM DOOR	1.46 X 2.06
AD3	ALUMINUM DOOR	1.06 X 2.07
AD4	ALUMINUM DOOR	1.09 X 2.17
AD5	ALUMINUM DOOR	1.27 X 2.07
AD6	ALUMINUM DOOR	1.80 X 2.14
PVC1	PLASTIC DOOR	0.84 X 1.99
PVC2	PLASTIC DOOR	0.79 X 1.99
GW1	GRILL WINDOW	0.98 X 2.35
GW2	GRILL WINDOW	0.98 X 1.18
AW1	ALUMINUM WINDOW	0.94 X 1.63
AW2	ALUMINUM WINDOW	1.96 X 1.60
AW3	ALUMINUM WINDOW	2.99 X 2.60
AV1	ALUMINUM VENT.	0.58 X 0.60

LEGEND:-

- BRICK WALL
- ALUMINUM PARTITION
- CEILING HEIGHT = 4.52m
- COLUMN A SIZE = 1.03 X 0.52
- COLUMN B SIZE = 0.72 X 0.72
- BEAM SIZE 1 = 0.52 X 0.48
- BEAM SIZE 2 = 0.35 X 0.48

NOTES:-

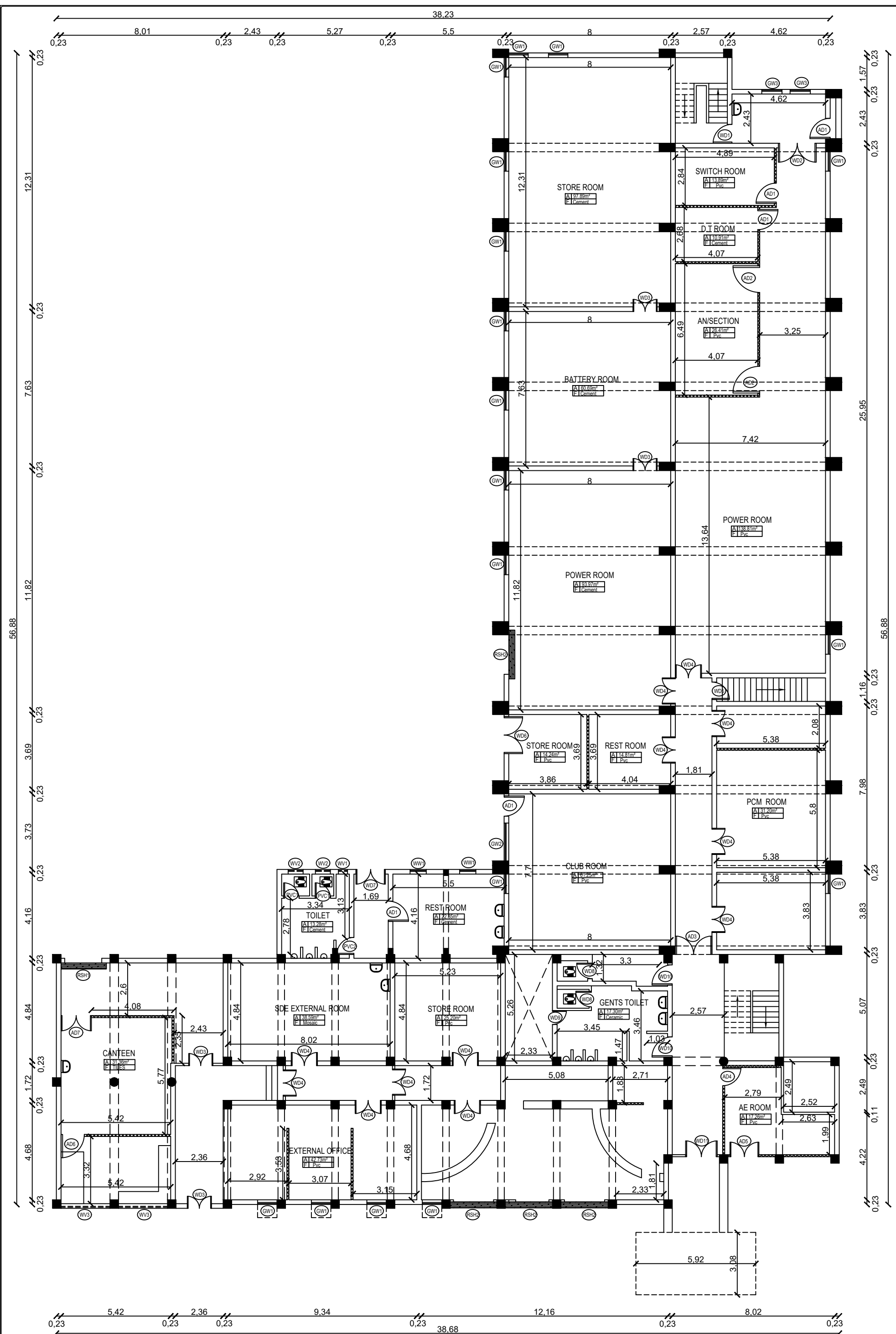
- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

SITE	ANNA NAGAR TE - BUILDING
DRAWING DISCIPLINE	FIRST FLOOR
ACTIVITY	EXECUTED BY DATE STARTED DATE FINISHED CHECKED BY SCALE
SURVEYING	JANARTHANAN 28.12.2008 03.01.2007 JANARTHANAN
DRAFTING	BARATHAN 04.01.2007 08.01.2007 JANARTHANAN

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L, CIVIL DIVISION - I
89, JEENIS ROAD
SAIDAPET, CHENNAI - 600 015.

SATVAT INFOSOL
NO. 23, Lattice Bridge Road
K.R. Building, (Pillar Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128, 24463129



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

GROUND FLOOR	SQ.M.
PLINTH AREA	1208.23
CARPET AREA	1064.58

JOINERY DETAILS:-

AD1	ALUMINIUM DOOR	1.00 X 2.15
AD2	ALUMINIUM DOOR	1.33 X 2.15
AD3	ALUMINIUM DOOR	1.81 X 2.08
AD4	ALUMINIUM DOOR	0.90 X 2.16
AD5	ALUMINIUM DOOR	1.43 X 2.15
AD6	ALUMINIUM DOOR	1.15 X 2.08
AD7	ALUMINIUM DOOR	1.50 X 1.94
WD1	WOODEN DOOR	0.93 X 1.98
WD2	WOODEN DOOR	1.87 X 2.56
WD3	WOODEN DOOR	1.19 X 2.24
WD4	WOODEN DOOR	1.29 X 2.45
WD5	WOODEN DOOR	0.86 X 2.45
WD6	WOODEN DOOR	1.83 X 2.91
WD7	WOODEN DOOR	1.45 X 2.10
WD8	WOODEN DOOR	0.77 X 1.98
WD9	WOODEN DOOR	0.69 X 1.98
WD10	WOODEN DOOR	1.00 X 2.45
WD11	WOODEN DOOR	1.56 X 2.42
WW1	WOODEN WINDOW	0.80 X 0.90
GW1	GLASS WINDOW	0.96 X 1.17
GW2	GLASS WINDOW	1.87 X 1.90
GW3	GLASS WINDOW	1.00 X 1.25
WV1	WOODEN VENT.	0.45 X 0.45
WV2	WOODEN VENT.	0.74 X 0.58
WV3	WOODEN VENT.	2.42 X 0.58
RS1	SHUTTER	1.83 X 2.35
RS2	SHUTTER	1.98 X 2.56
PVC1	PLASTIC DOOR	0.76 X 2.08
PVC2	PLASTIC DOOR	0.84 X 2.09

LEGEND:-

- BRICK WALL
- ALUMINIUM PARTITION
- BEAM SIZE - 0.42 X 0.56
- COLUMN SIZE - 0.42 X 0.88

CEILING HEIGHT = 4.80m

NOTES:-

- ALL DIMENSIONS ARE IN METRES.
- ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE

DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN

SITE

AMBATTUR
TE - BUILDING

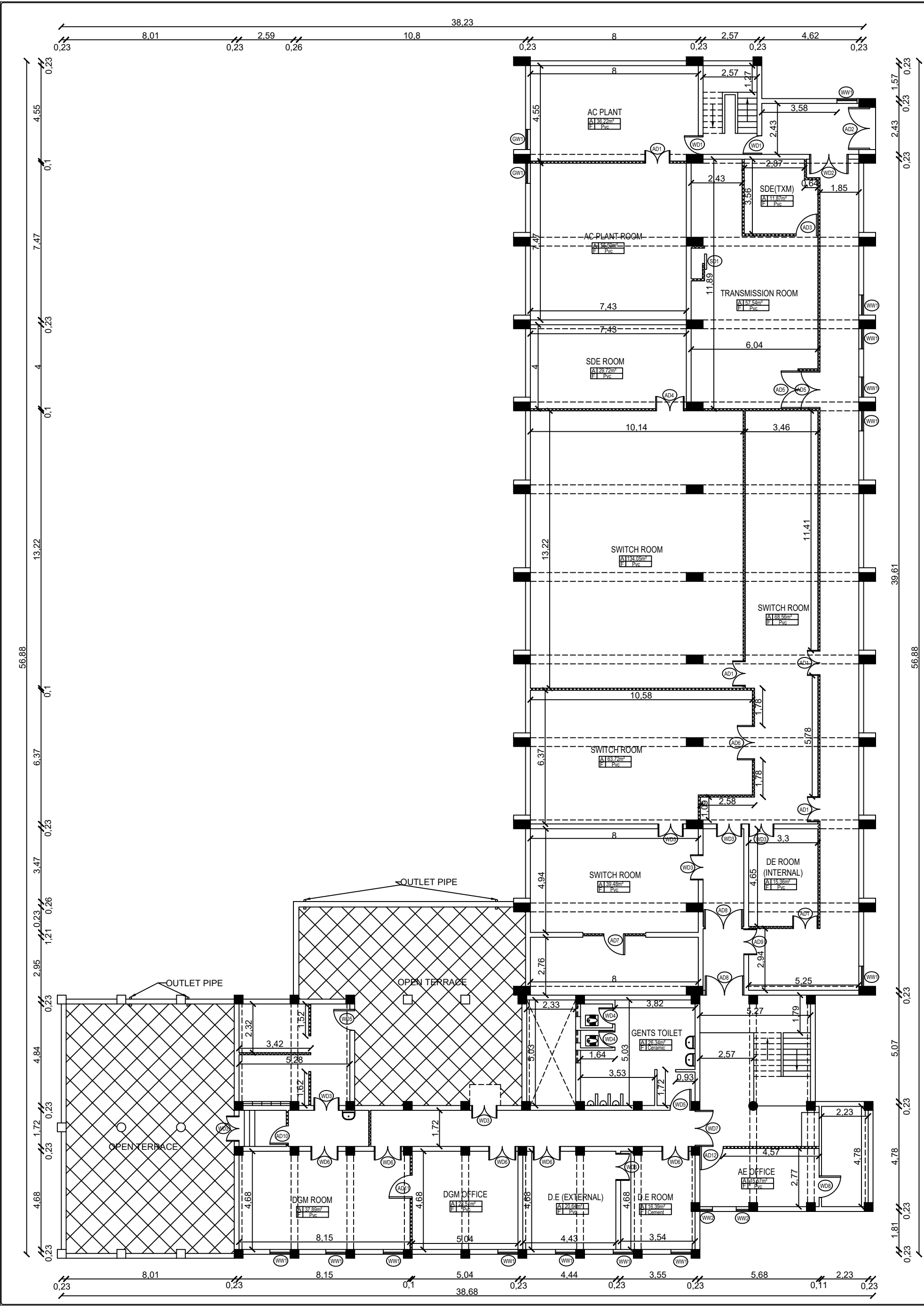
GROUND FLOOR PLAN

DATE

NO. 23, Laffice Bridge Road,
K.P. Building, (Pillar Corner Building)
3rd Floor, Adyar, Chennai - 600 020.
CHENNAI - 600 015.

SATVAT INFOSOL

NO. 23, Laffice Bridge Road,
K.P. Building, (Pillar Corner Building)
3rd Floor, Adyar, Chennai - 600 020.
CHENNAI - 600 015.



ORIENTATION:

AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

FIRST FLOOR	SQ.M.
PLINTH AREA	1021.79
CARPET AREA	902.86

JOINERY DETAILS:-

AD1	ALUMINIUM DOOR	1.20 X 2.00
AD2	ALUMINIUM DOOR	2.01 X 1.98
AD3	ALUMINIUM DOOR	1.04 X 2.45
AD4	ALUMINIUM DOOR	1.36 X 2.47
AD5	ALUMINIUM DOOR	1.80 X 2.50
AD6	ALUMINIUM DOOR	1.64 X 2.45
AD7	ALUMINIUM DOOR	1.00 X 2.45
AD8	ALUMINIUM DOOR	1.84 X 2.10
AD9	ALUMINIUM DOOR	1.24 X 2.45
AD10	ALUMINIUM DOOR	0.88 X 2.14
AD11	ALUMINIUM DOOR	1.10 X 2.16
AD12	ALUMINIUM DOOR	1.11 X 2.16
WD1	WOODEN DOOR	0.89 X 1.56
WD2	WOODEN DOOR	1.84 X 2.13
WD3	WOODEN DOOR	1.20 X 2.50
WD4	WOODEN DOOR	0.77 X 2.00
WD5	WOODEN DOOR	1.00 X 2.17
WD6	WOODEN DOOR	1.29 X 2.16
WD7	WOODEN DOOR	1.72 X 2.17
WD8	WOODEN DOOR	1.03 X 2.43
SD1	SLIDING DOOR	0.73 X 2.45
WW1	WOODEN WINDOW	0.96 X 1.20
WW2	WOODEN WINDOW	0.60 X 0.90
GW1	GLASS WINDOW	0.96 X 1.20

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.

2. ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

LEGEND:-

- BRICK WALL
- ALUMINIUM PARTITION
- BEAM SIZE - 0.42 X 0.56
- COLUMN SIZE - 0.42 X 0.88

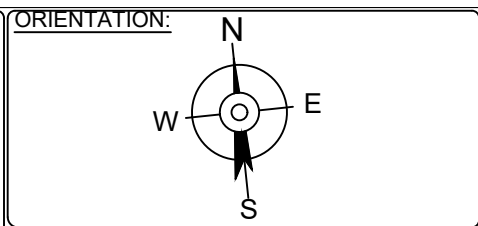
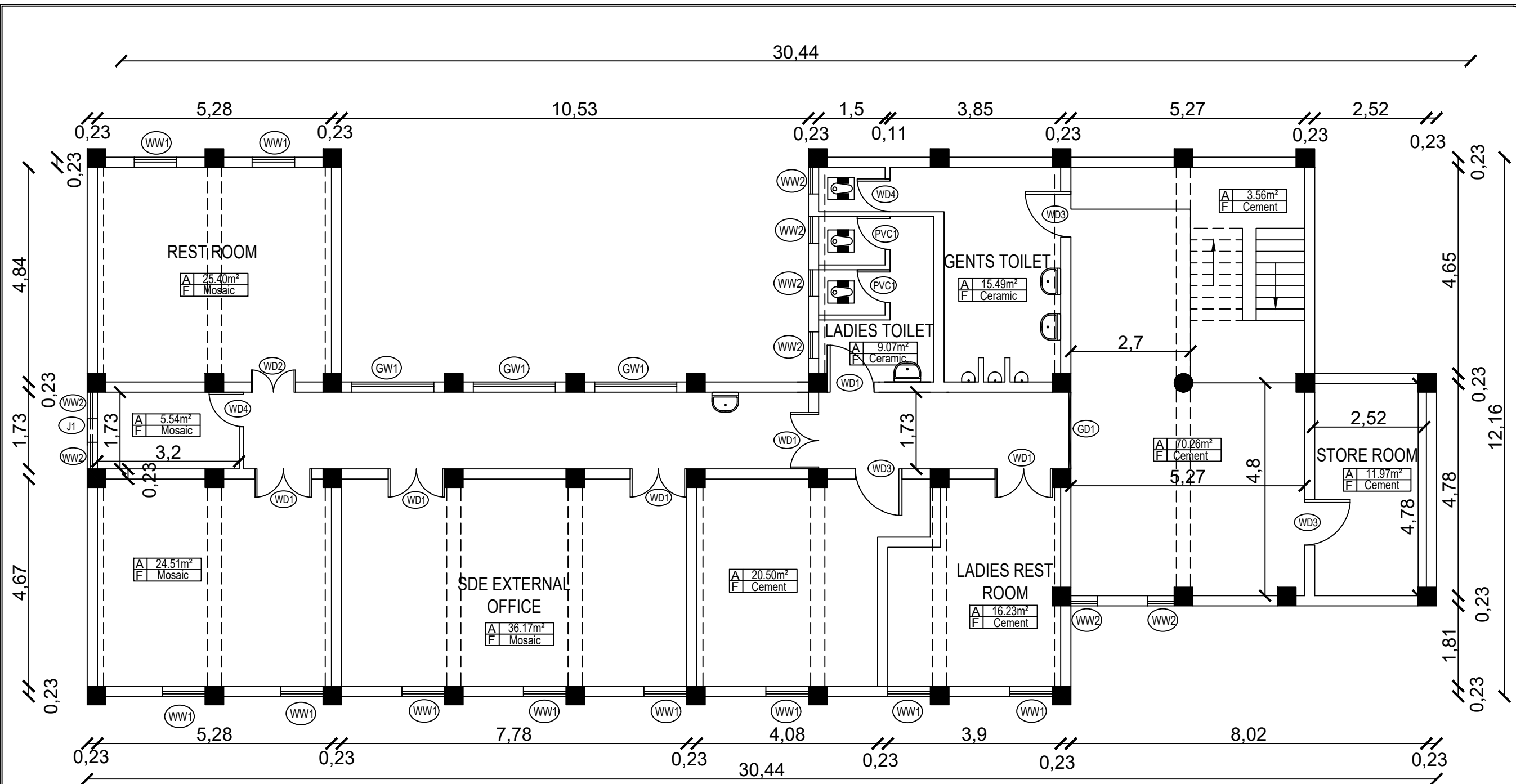
CEILING HEIGHT = 3.54m

PROJECT TITLE: DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

SITE	AMBATTUR TE - BUILDING				
DRAWING DESCRIPTION	FIRST FLOOR PLAN				
CHECKED BY	DATE	DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE	DATE	DATE

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L. CIVIL DIVISION - I
89, JEEBIS ROAD,
CHENNAI - 600 015.

SATVAT INFOSOL
NO. 23, Lattice Bridge Road
K.R. Building, Plaza Corner Building
3rd Floor, Adyar, Chennai - 600 020.
Ph. 044-24460128,24463129



AREA DETAILS:-

THE TOTAL AREA OF BUILDING HAS BEEN COMPUTED AS

SECOND FLOOR	SQ.M.
PLINTH AREA	288.11
CARPET AREA	238.59

JOINERY DETAILS:-

WD1	WOODEN DOOR	1.27 X 2.56
WD2	WOODEN DOOR	1.00 X 2.56
WD3	WOODEN DOOR	1.03 X 2.48
WD4	WOODEN DOOR	0.74 X 1.98
GW1	GRIL WINDOW	1.85 X 1.51
WW1	WOODEN WINDOW	0.96 X 1.70
WW2	WOODEN WINDOW	0.60 X 0.90
PVC1	PVC DOOR	0.74 X 1.76
J1	JOLLY	0.74 X 1.76
GD1	GRILL DOOR	1.73 X 2.43

LEGEND:-

	BRICK WALL
	ALUMINUM PARTITION
	BEAM SIZE - 0.42 X 0.56
	COLUMN SIZE - 0.42 X 0.88

CEILING HEIGHT = 3.55m

NOTES:-

1. ALL DIMENSIONS ARE IN METRES.
2. ALL FLOORS ARE P.C.C FLOORING UNLESS OTHERWISE SPECIFIED.

PROJECT TITLE DIGITALISATION OF EXISTING AS-BUILT STRUCTURE PLAN.

SITE AMBATTUR TE - BUILDING

DRAWING DESCRIPTION SECOND FLOOR PLAN

ACTIVITY	EXECUTED BY	DATE STARTED	DATE FINISHED	CHECKED BY	SCALE
SURVEYING	JANARTHANAN	26.10.2006	03.11.2006	JANARTHANAN	1:100
DRAFTING	SARAVANAN	07.11.2006	10.11.2006	JANARTHANAN	

THE EXECUTIVE ENGINEER - CIVIL
B.S.N.L, CIVIL DIVISION - I
89, JEENIS ROAD,
CHENNAI - 600 015.

SATVAT INFOSOL
NO - 23, Lattice Bridge Road
K.R. Building, (Pizza Corner Building)
3rd Floor, Adayar, Chennai - 600 020.
Ph. 044-24463128,24463129